

# AAM DURHAM RESIDENCES, LLC

## 32 & 34 MADBURY ROAD

DURHAM NEW HAMPSHIRE

MARCH 2022

OWNER:

AAM DURHAM RESIDENCES, LLC  
78 BLANCHARD ROAD  
SUITE 100  
BURLINGTON, MA

ENGINEER

**horizons**  
*Engineering*

5 RAILROAD STREET  
NEWMARKET, NH 03857  
(603)659-4979

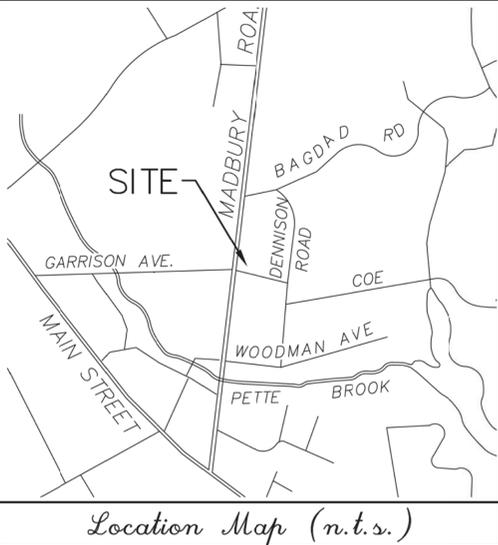
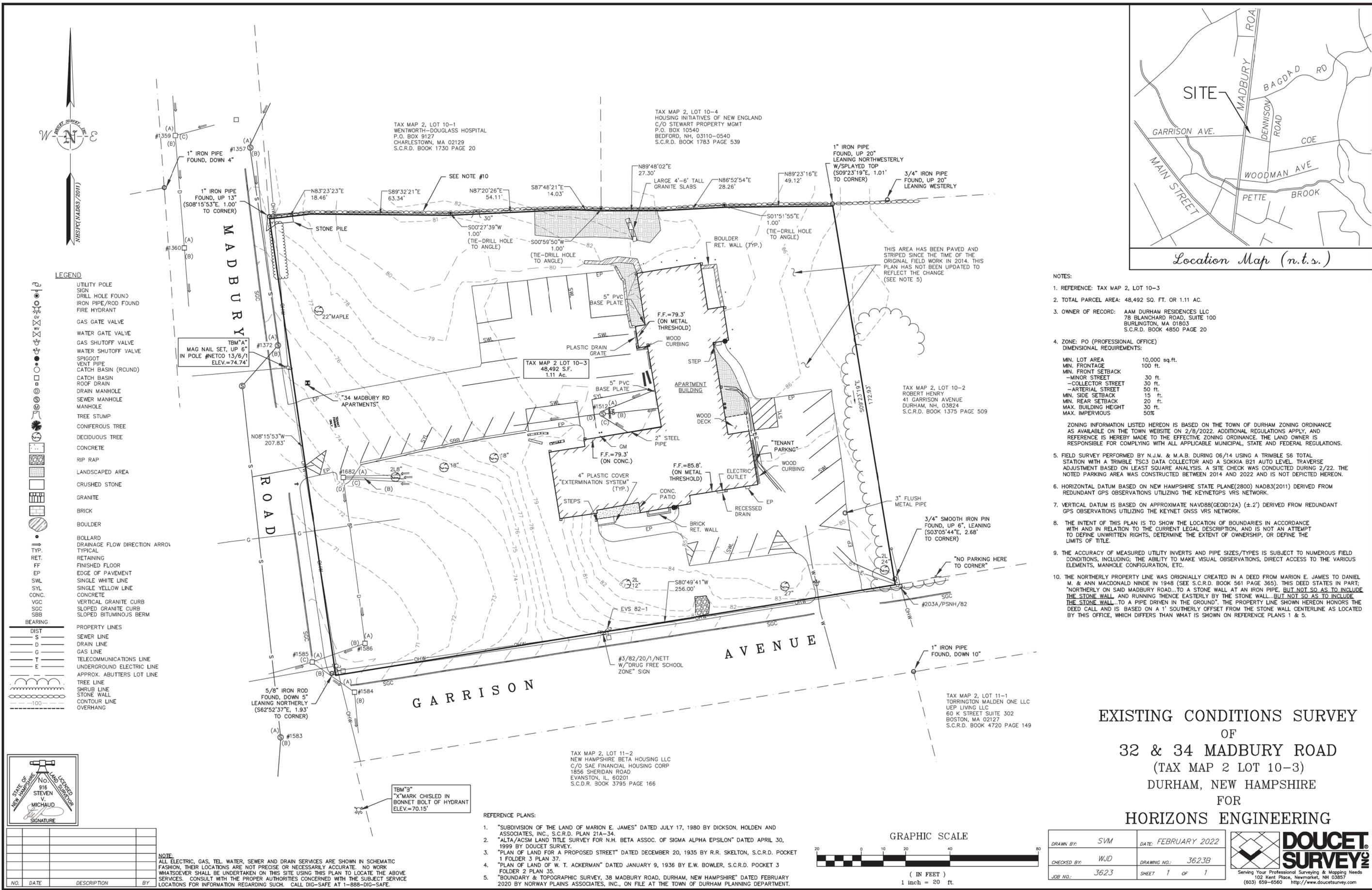
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LOCATION PLAN

NOT TO SCALE



**LEGEND**

- UTILITY POLE
- SIGN
- DRILL HOLE FOUND
- IRON PIPE/ROD FOUND
- FIRE HYDRANT
- GAS GATE VALVE
- WATER GATE VALVE
- GAS SHUTOFF VALVE
- WATER SHUTOFF VALVE
- SPIGOT
- VENT PIPE
- CATCH BASIN (ROUND)
- CATCH BASIN
- ROOF DRAIN
- DRAIN MANHOLE
- SEWER MANHOLE
- MANHOLE
- TREE STUMP
- CONIFEROUS TREE
- DECIDUOUS TREE
- CONCRETE
- RIP RAP
- LANDSCAPED AREA
- CRUSHED STONE
- GRANITE
- BRICK
- BOULDER
- BOLLARD
- DRAINAGE FLOW DIRECTION ARROW
- TYPICAL
- RETAINING
- FF FINISHED FLOOR
- EP EDGE OF PAVEMENT
- SWL SINGLE WHITE LINE
- SYL SINGLE YELLOW LINE
- CONC. CONCRETE
- VCC VERTICAL GRANITE CURB
- SCC SLOPED GRANITE CURB
- SBB SLOPED BITUMINOUS BERM
- BEARING
- PROPERTY LINES
- DIST DISTANCE
- S SEWER LINE
- D DRAIN LINE
- G GAS LINE
- T TELECOMMUNICATIONS LINE
- E UNDERGROUND ELECTRIC LINE
- APPROX. ADJUTERS LOT LINE
- TREE LINE
- SHRUB LINE
- STONE WALL
- CONTOUR LINE
- OVERHANG

**NOTES:**

1. REFERENCE: TAX MAP 2, LOT 10-3
2. TOTAL PARCEL AREA: 48,492 SQ. FT. OR 1.11 AC.
3. OWNER OF RECORD: AAM DURHAM RESIDENCES LLC  
78 BLANCHARD ROAD, SUITE 100  
BURLINGTON, MA 01803  
S.C.R.D. BOOK 4850 PAGE 20
4. ZONE: PO (PROFESSIONAL OFFICE)  
DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA 10,000 sq.ft.  
MIN. FRONTAGE 100 ft.  
MIN. FRONT SETBACK 30 ft.  
-MINOR STREET 30 ft.  
-COLLECTOR STREET 30 ft.  
-ARTERIAL STREET 50 ft.  
MIN. SIDE SETBACK 15 ft.  
MIN. REAR SETBACK 20 ft.  
MAX. BUILDING HEIGHT 30 ft.  
MAX. IMPERVIOUS 50%
- ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE AS AVAILABLE ON THE TOWN WEBSITE ON 2/8/2022. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
5. FIELD SURVEY PERFORMED BY N.J.M. & M.A.B. DURING 06/14 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA 821 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS. A SITE CHECK WAS CONDUCTED DURING 2/22. THE NOTED PARKING AREA WAS CONSTRUCTED BETWEEN 2014 AND 2022 AND IS NOT DEPICTED HEREON.
6. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET'S VRS NETWORK.
7. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(GEOD12A) (±2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET'S VRS NETWORK.
8. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
9. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING; THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
10. THE NORTHERLY PROPERTY LINE WAS ORIGINALLY CREATED IN A DEED FROM MARION E. JAMES TO DANIEL M. & ANN MACDONALD NINDE IN 1948 (SEE S.C.R.D. BOOK 561 PAGE 365). THIS DEED STATES IN PART: "NORTHERLY ON SAID MADBURY ROAD...TO A STONE WALL AT AN IRON PIPE, BUT NOT SO AS TO INCLUDE THE STONE WALL, AND RUNNING THENCE EASTERLY BY THE STONE WALL, BUT NOT SO AS TO INCLUDE THE STONE WALL...TO A PIPE DRIVEN IN THE GROUND". THE PROPERTY LINE SHOWN HEREON HONORS THE DEED CALL AND IS BASED ON A 1' SOUTHERLY OFFSET FROM THE STONE WALL CENTERLINE AS LOCATED BY THIS OFFICE, WHICH DIFFERS THAN WHAT IS SHOWN ON REFERENCE PLANS 1 & 5.

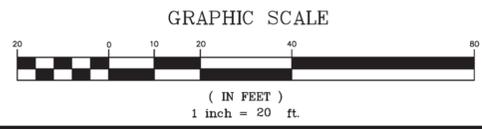
**EXISTING CONDITIONS SURVEY**  
OF  
**32 & 34 MADBURY ROAD**  
(TAX MAP 2 LOT 10-3)  
DURHAM, NEW HAMPSHIRE  
FOR  
**HORIZONS ENGINEERING**

STATE OF NEW HAMPSHIRE  
No. 916  
STEVEN V. MICHAUD  
SURVEYOR  
SIGNATURE

NO.	DATE	DESCRIPTION	BY

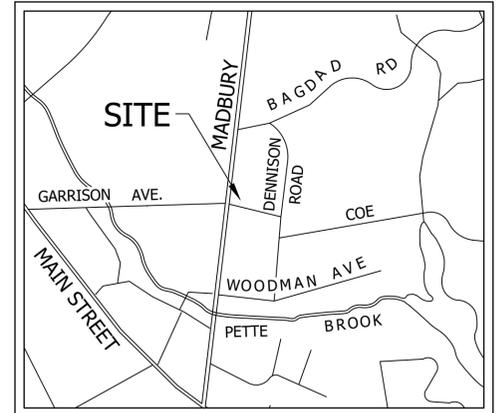
**NOTE:**  
ALL ELECTRIC, GAS, TEL, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

- REFERENCE PLANS:**
1. "SUBDIVISION OF THE LAND OF MARION E. JAMES" DATED JULY 17, 1980 BY DICKSON, HOLDEN AND ASSOCIATES, INC., S.C.R.D. PLAN 214-34.
  2. "ALTA/ACSM LAND TITLE SURVEY FOR N.H. BETA ASSOC. OF SIGMA ALPHA EPSILON" DATED APRIL 30, 1999 BY DOUCET SURVEY.
  3. "PLAN OF LAND FOR A PROPOSED STREET" DATED DECEMBER 20, 1935 BY R.R. SKELTON, S.C.R.D. POCKET 1 FOLDER 3 PLAN 37.
  4. "PLAN OF LAND OF W. T. ACKERMAN" DATED JANUARY 9, 1936 BY E.W. BOWLER, S.C.R.D. POCKET 3 FOLDER 2 PLAN 35.
  5. "BOUNDARY & TOPOGRAPHIC SURVEY, 38 MADBURY ROAD, DURHAM, NEW HAMPSHIRE" DATED FEBRUARY 2020 BY NORWAY PLAINS ASSOCIATES, INC., ON FILE AT THE TOWN OF DURHAM PLANNING DEPARTMENT.



DRAWN BY: SVM	DATE: FEBRUARY 2022
CHECKED BY: WJD	DRAWING NO.: 3623B
JOB NO.: 3623	SHEET 1 OF 1

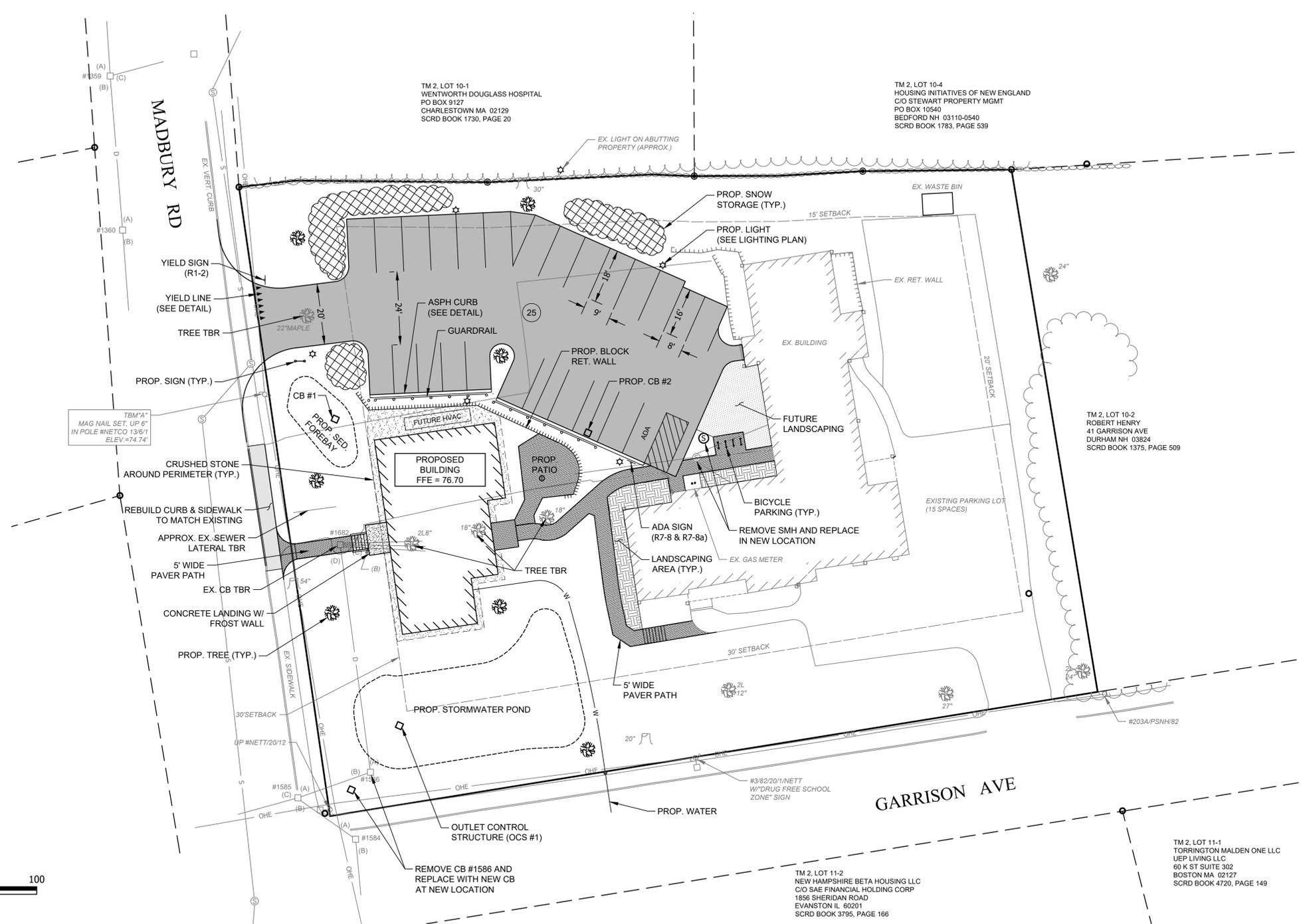
**DOUCET SURVEY**  
Serving Your Professional Surveying & Mapping Needs  
102 Kent Place, Newmarket, NH 03857  
(603) 659-6560 <http://www.doucetsurvey.com>



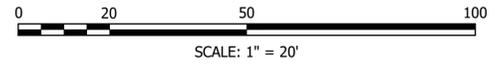
LOCUS MAP

**LEGEND**

- EX. TREE
- PROP. TREE
- EX. TREELINE
- PROPERTY LINE (SUBJECT PARCEL)
- ABUTTING PROPERTY LINE
- BUILDING SETBACK
- OHE
- EX. POWER POLE
- EX. RETAINING WALL
- PROP. RETAINING WALL
- PROP. GUARD RAIL
- PROP. ASPHALT
- PROP. CONCRETE
- PROP. CRUSH STONE
- PROP. PAVERS
- PROP. LANDSCAPING
- FUTURE LANDSCAPING



FINAL APPROVAL BY DURHAM PLANNING BOARD.  
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER  
 CERTIFIED \_\_\_\_\_  
 DATE \_\_\_\_\_



**GENERAL NOTES:**

- SUBJECT PROPERTY**  
 32 MADBURY ROAD  
 TAX MAP 2, LOT 10-3  
 48 492 ft<sup>2</sup> (1.11 Ac<sup>2</sup>)
- OWNER OF RECORD**  
 AAM DURHAM RESIDENCES LLC  
 78 BLANCHARD ROAD, SUITE 100  
 BURLINGTON, MA 01803  
 R.C.R.D. BOOK 4850, PAGE 20
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED IMPROVEMENTS AND IMPACTS TO THE PROJECT SITE.
  - THE SUBJECT LOT IS NOT WITHIN A 100-YEAR FLOODPLAIN AS SHOWN ON THE FEMA FIRM#33017C0318E, REVISED 30 SEPTEMBER, 2015
  - FIELD SURVEY WAS CONDUCTED BY DOUCET SURVEY IN JUNE 2014.
  - REMOVE SNOW TO AN OFF-SITE LOCATION WHEN DESIGNATED SNOW AREAS ARE FULL. DO NOT BLOCK SIGHT LINES WITH SNOW.

**ZONING NOTES:**

THE SUBJECT PROPERTY IS IN THE PROFESSIONAL OFFICE ZONE (PO)

**DIMENSIONAL REQUIREMENTS**  
 (FROM TABLE 175-54 OF THE DURHAM ZONING ORDINANCE)

STANDARD	MINIMUM	MAXIMUM
LOT SIZE	20 000	N/A
LOT FRONTAGE	100	N/A
FRONT SETBACK	30	N/A
SIDE SETBACK	15	N/A
REAR SETBACK	20	N/A
BUILDING HEIGHT	N/A	30 <sup>a</sup>

<sup>a</sup>BUILDING HEIGHT OF 60' IS ALLOWED BY SPECIAL EXCEPTION

**PARKING REQUIREMENTS**

TYPE OF USE: ROOMING OR BOARDING HOUSES  
 1 SPACE/RESIDENT

REQUIRED SPACES = 51 RESIDENTS X 1 SPACE/RESIDENT  
 = 51 SPACES

PROVIDED SPACES = 40 SPACES

A WAIVER IS REQUESTED FROM THE MINIMUM PARKING REQUIREMENTS SET IN SECTION 10.1 OF THE DURHAM SITE PLAN REGULATIONS.

**IMPERVIOUS SURFACE RATIO:**

PRE-DEVELOPMENT	POST-DEVELOPMENT	ZONING MAXIMUM (PO)
20 458 : 48 492	24 213 : 48 492	24 246 : 48 492
42.2%	49.9%	50%

**REFERENCE PLANS:**

- A. EXISTING CONDITIONS SURVEY OF 23 MADBURY ROAD DURHAM, NEW HAMPSHIRE FOR HORIZONS ENGINEERING BY DOUCET SURVEY, INC. DATED FEBRUARY, 2022.

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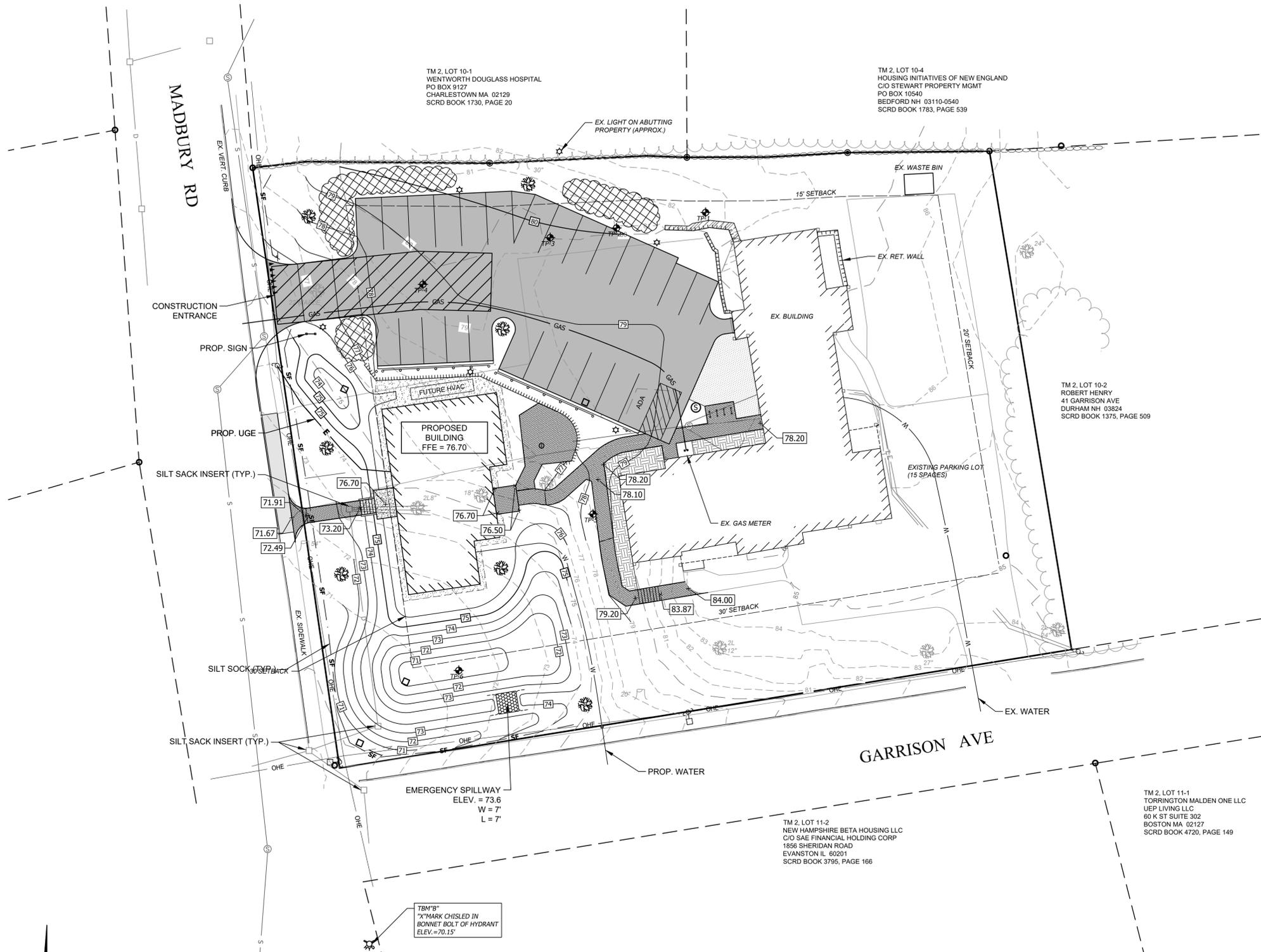
**AAM DURHAM RESIDENCES**  
 32 & 34 MADBURY ROAD  
 DURHAM, NEW HAMPSHIRE

**SITE PLAN**

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
00	2022-03-02	INITIAL SUBMISSION	MCS	01

DATE: 2022-03-01 PROJECT #: 21585  
 ENG'D BY: MJS DRAWN BY: MCS  
 CHECK'D BY: MJS ARCHIVE #: H-

2022-03-07 14:16:43 P:\21585\AAM15 Management\Internal\Drawing Files\21585\_Grading\_01.dwg



**GENERAL NOTES:**

**SUBJECT PROPERTY**  
 32 MADBURY ROAD  
 TAX MAP 2, LOT 10-3  
 48 492 ft<sup>2</sup> (1.11 Ac±)

**OWNER OF RECORD**  
 AAM DURHAM RESIDENCES LLC  
 78 BLANCHARD ROAD, SUITE 100  
 BURLINGTON, MA 01803  
 R.C.R.D. BOOK 4850, PAGE 20

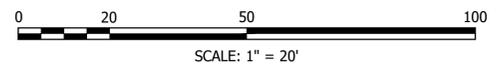
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6. THE SOILS ON THE SITE ARE HOLLIS-CHARLTON FINE SAND LOAM, 3 TO 8%.

**TEST PIT DATA**

TEST PITS WERE DUG BY COULSTRING CONSTRUCTION AND LOGGED BY MICHAEL J. SIEVERT OF HORIZONS ENGINEERING ON 19 AUGUST 2021

- TEST PIT #1**  
 0-6" TOPSOIL  
 6-24" FINE SANDY LOAM, GRANULAR LOOSE  
 24-66" GRAVELY FINE SANDY LOAM, LOOSE  
 REFUSAL @ 66"
- TEST PIT #2**  
 0-18" REFUSAL @ 18"
- TEST PIT #3**  
 0-16" REFUSAL @ 16"
- TEST PIT #4**  
 0-20" REFUSAL @ 20"
- TEST PIT #5**  
 0-6" TOPSOIL  
 6-36" VERY FINE SANDY LOAM  
 36-66" VERY FINE SILT CLAY  
 ROOTS TO 39"
- TEST PIT #6**  
 0-54" ROCK @ 54"  
 ROOTS TO 30"  
 VERY FINE SANDY LOAM
- TEST PIT #7**  
 0-50" REFUSAL @ 50"  
 ROOTS TO 24"

FINAL APPROVAL BY DURHAM PLANNING BOARD.  
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER  
 CERTIFIED \_\_\_\_\_  
 DATE \_\_\_\_\_



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**AAM DURHAM RESIDENCES**  
 32 & 34 MADBURY ROAD  
 DURHAM, NEW HAMPSHIRE  
**GRADING AND EROSION CONTROL PLAN**

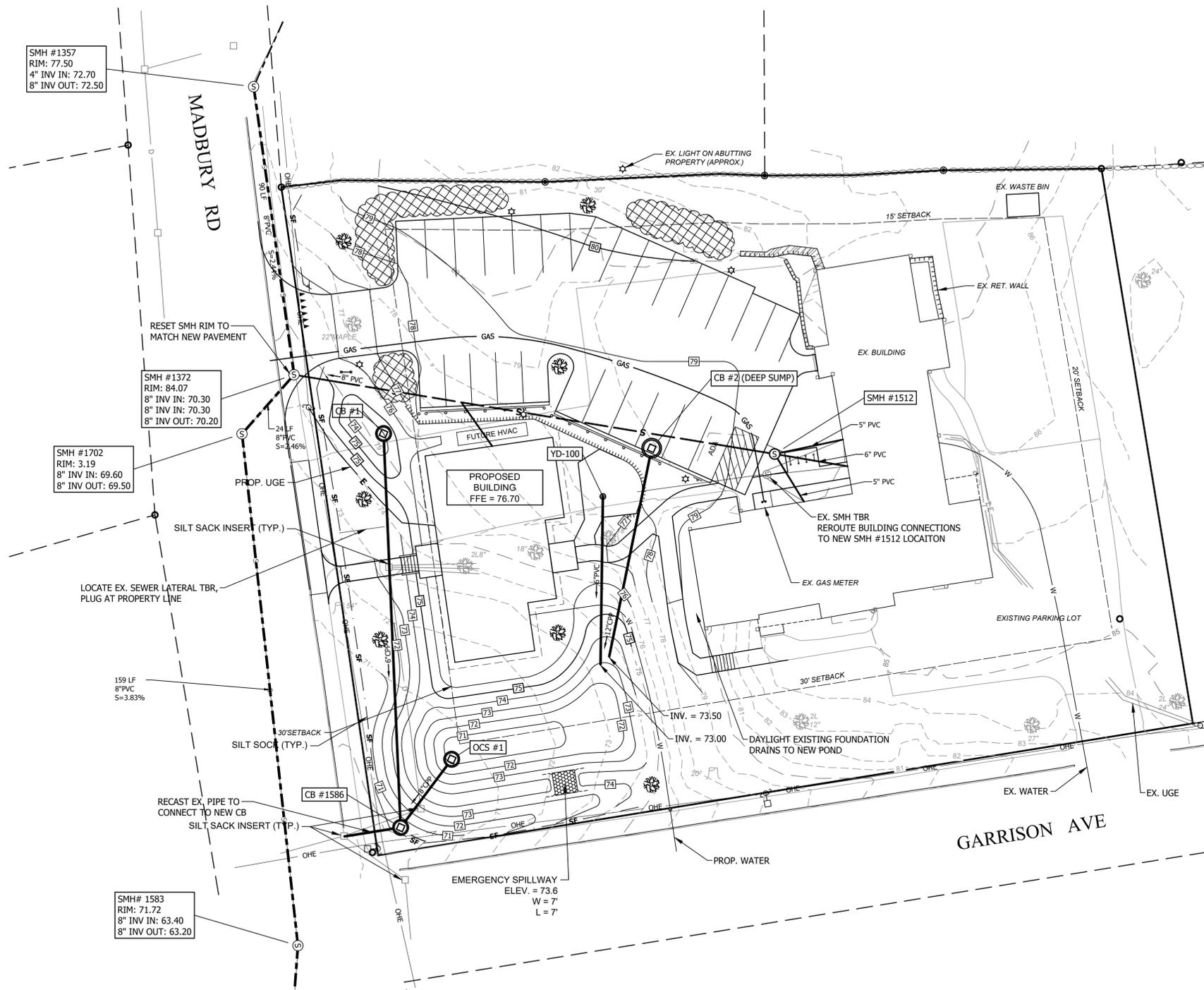
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DATE: 2021-12-21 PROJECT #: 21585  
 ENG'D BY: MJS DRAWN BY: XXX  
 CHECK'D BY: MJS ARCHIVE #: H-\_\_\_\_

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SEWER STRUCTURE TABLE			
STRUCTURE ID	DETAILS:	PIPES IN:	PIPE OUT
SMH #1372 (EXISTING)	RIM: 84.07 INV IN: 70.30 INV IN: 70.30 INV OUT: 70.20	(EX) 8" PVC (NEW) 8" PVC	(EX) 8" PVC
SMH #1512	RIM: 80.26 INV IN: 76.70 INV IN: 76.90 INV IN: 76.70 INV OUT: 75.00	(EX) 5" PVC (EX) 6" PVC (EX) 5" PVC	(NEW) 8" PVC

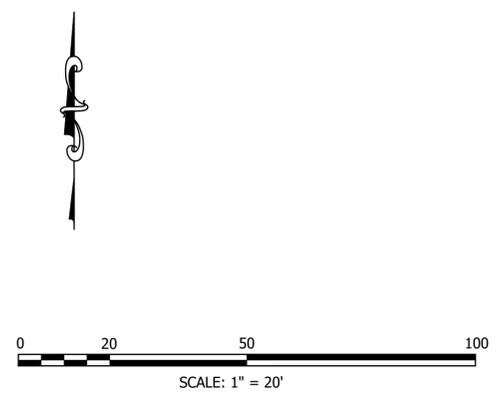
DRAIN STRUCTURE TABLE			
STRUCTURE ID	DETAILS:	PIPES IN:	PIPE OUT
CB #1	RIM: 72.88 INV OUT: 69.50		Pipe - (53), 6" CPP
CB #2 (DEEP SUMP)	RIM: 78.82 INV OUT: 74.50		Pipe - (51), 12" CPP
CB #1586	RIM: 70.20 INV IN: 68.00 INV IN: 68.00 INV OUT: 67.90	Pipe - (53), 6" CPP Pipe - (54), 8" CPP	Pipe - (55), 12" RCP
OCS #1	RIM: 74.86 INV OUT: 69.00		Pipe - (54), 8" CPP
YD-100	RIM: 76.00 INV OUT: 73.83		Pipe - (52), 6" PVC

**GENERAL NOTES:**

**SUBJECT PROPERTY**  
32 MADBURY ROAD  
TAX MAP 2, LOT 10-3  
48 492 ft<sup>2</sup> (1.11 Ac±)

**OWNER OF RECORD**  
AAM DURHAM RESIDENCES LLC  
78 BLANCHARD ROAD, SUITE 100  
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- THE SOILS ON THE SITE ARE HOLLIS-CHARLTON FINE SAND LOAM, 3 TO 8%.
- CALL 811 DIG-SAFE TO MARK UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.



FINAL APPROVAL BY DURHAM PLANNING BOARD.  
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER

CERTIFIED \_\_\_\_\_  
DATE \_\_\_\_\_

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32 & 34 MADBURY ROAD  
DURHAM, NEW HAMPSHIRE

UTILITIES PLAN				
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
00	2021-12-21	INITIAL SUBMISSION	MCS	01

DATE: 2021-12-21 PROJECT #: 21585

ENG'D BY: MJS DRAWN BY: XXX

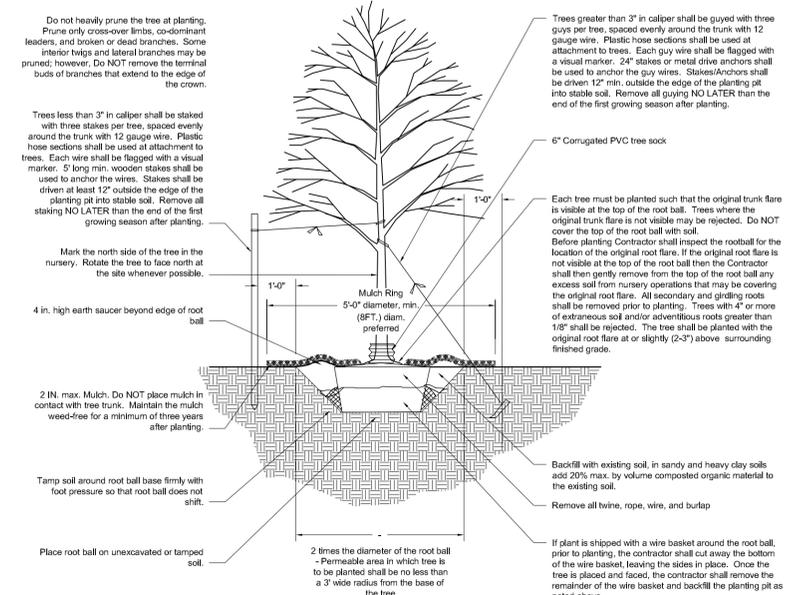
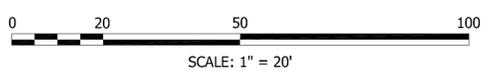
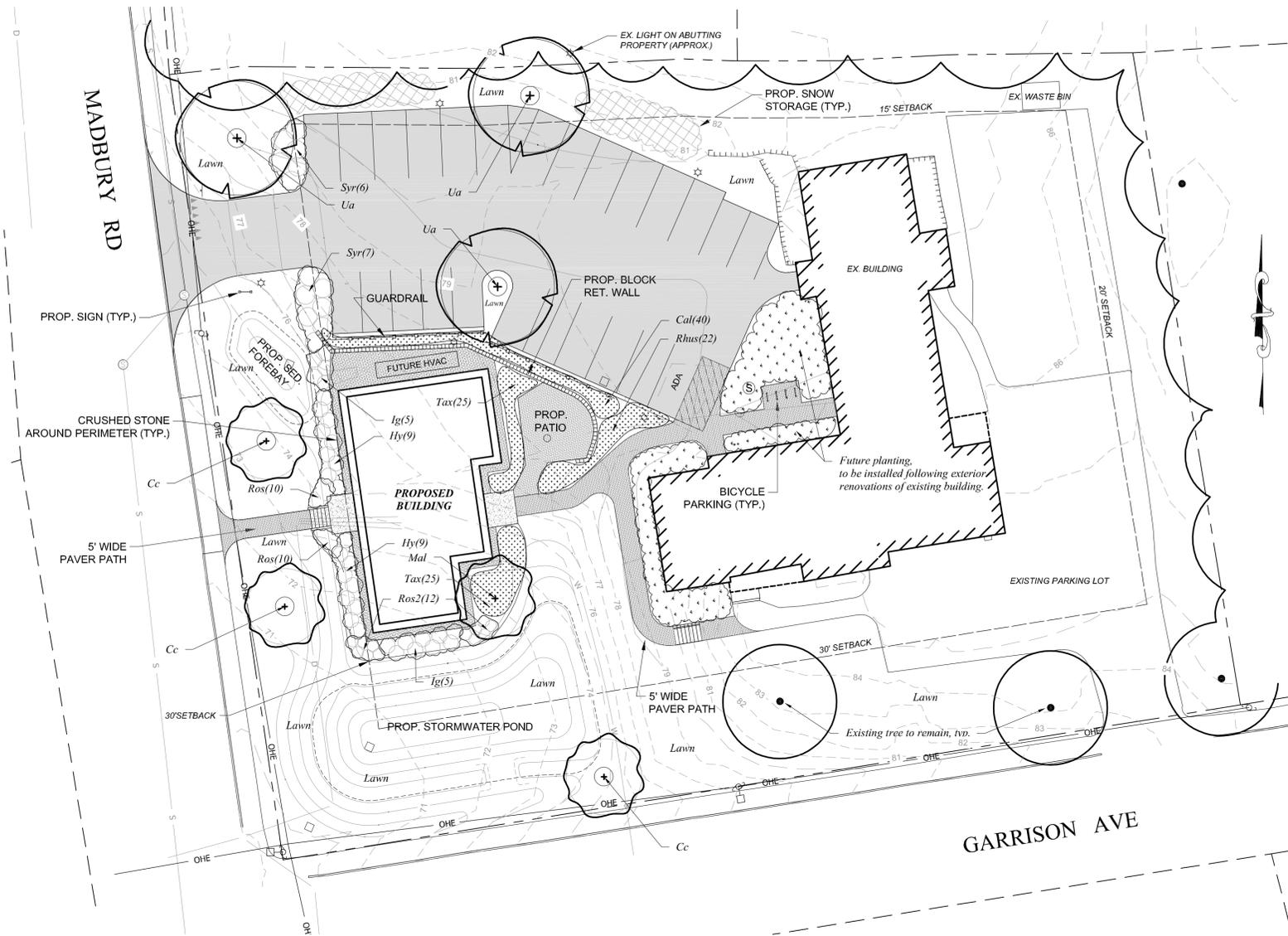
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**C103**

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## Landscape Notes

- Design is based on drawings by Horizons Engineering dated 3/2/2022 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portables within the tree protection area.
- This plan is for review purposes only, NOT for Construction. Construction Documents will be provided upon request.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
  - Outside hose attachments spaced a maximum of 150 feet apart, and
  - An underground irrigation system, or
  - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.



Tree Planting Detail

Plant List					
TREES					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Mal	<i>Malus 'Prairefire'</i>	Prairefire Crabapple	1	2-2.5' cal	BB
Ua	<i>Ulmus americana 'Princeton'</i>	Princeton American Elm	3	3-3.5' cal.	BB
Cc	<i>Crataegus crus-galli 'Nermis'</i>	Thornless Cockspur Hawthorn	3	2-2.5' cal	BB
SHRUBS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Hy	<i>Hydrangea paniculata 'Little Lime'</i>	Little Lime Hydrangea	18	5 gal	
Ig	<i>Ilex glabra 'Shamrock'</i>	Shamrock Inkberry	14	5 gal	Full & full to the ground BB
Rhus	<i>Rhus aromatica 'Grow-Low'</i>	Grow Low Sumac	22	18-24"	BB
Ros	<i>Rosa 'Apricot Drift'</i>	Apricot Drift Rose	20	3 gal	
Ros2	<i>Rosa 'Sunny Knockout'</i>	Sunny Knockout Rose	12	5 gal	
SyB	<i>Syringa 'Bloemerang'</i>	Bloemerang Lilac	13	3-4' ht.	Full BB
Tx	<i>Taxus media 'Everlow'</i>	Everlow Yew	50	3 gal	
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Cal	<i>Calamagrostis acutifolia 'Karl Foerster'</i>	Feather Reed Grass	40	1 gal	

**woodburn & company**  
 LANDSCAPE ARCHITECTURE  
 103 Kent Place Newmarket, New Hampshire Phone: 603.659.5949

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**AAM DURHAM RESIDENCES**  
 32 & 34 MADBURY ROAD  
 DURHAM, NEW HAMPSHIRE

LANDSCAPE PLAN				
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
00	2022-03-01	INITIAL SUBMISSION	VM	01

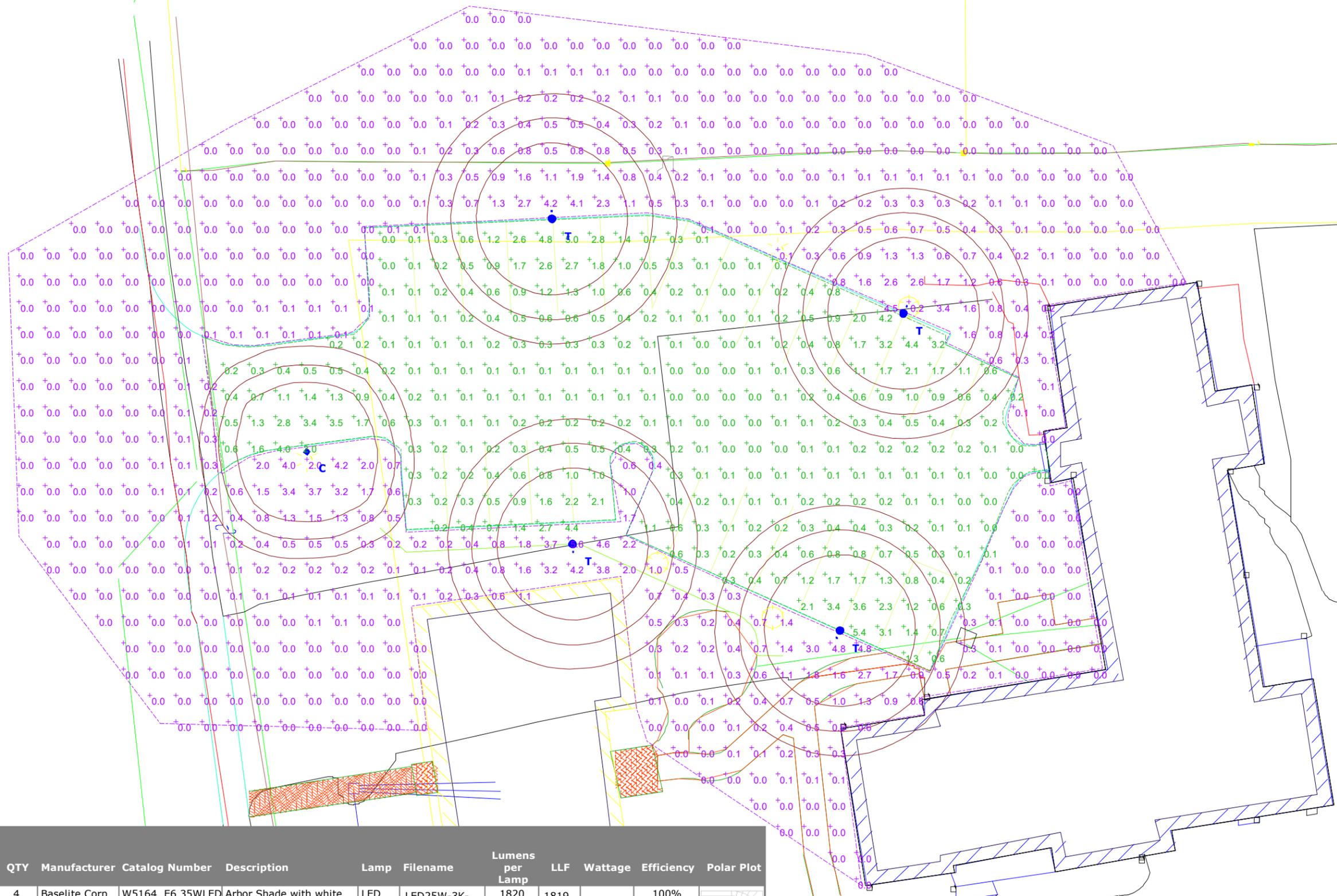
DATE:	2022-03-01	PROJECT #:	21585
ENG'D BY:	VM	DRAWN BY:	VM
CHECK'D BY:	RW	ARCHIVE #:	H—

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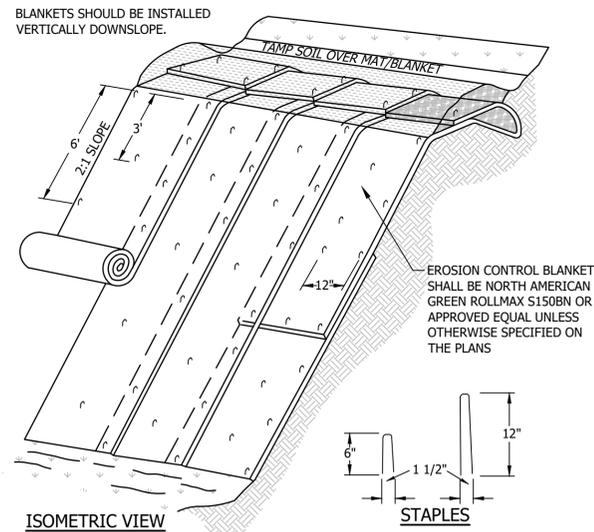
**32 MADBURY RD  
DURHAM, NH  
Site Lighting Layout**

**Designer**  
Heidi G. Connors  
Visible Light, Inc.  
24 Sticky Terrace  
Suite 6  
Hampton, NH 03842  
**Date**  
02/24/2022  
**Scale**  
1"=20'  
**Drawing No.**  
Summary



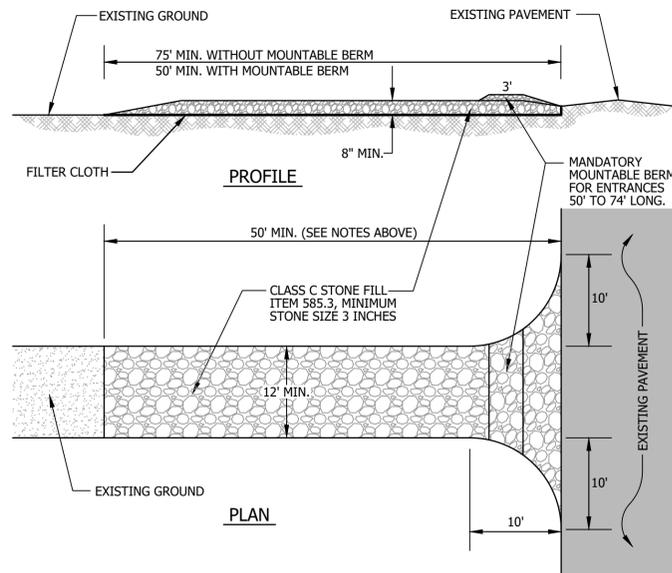
Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Efficiency	Polar Plot
	T	4	Baselite Corp	W5164 E6 35WLED 3K LDM0-10V with PM18 on 3AEP12	Arbor Shade with white reflector and frosted lens; mounted at 12ft	LED	LED25W-3K-1260984.ies	1820	1819.715		100%	
	C	1	Brownlee Lighting	7080 C24 30K	Black plastic housing, aluminum reflector, frosted plastic lens enclosure; mounted at 10ft	LED	7080-C24-40K.ies	2486	2485.787		100%	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.3 fc	5.6 fc	0.0 fc	N/A	N/A
Parking Lot	+	0.6 fc	5.4 fc	0.0 fc	N/A	N/A



- NOTES:**
- DIMENSION GIVEN IN THE DRAWINGS ARE EXAMPLES; DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
  - APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
  - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

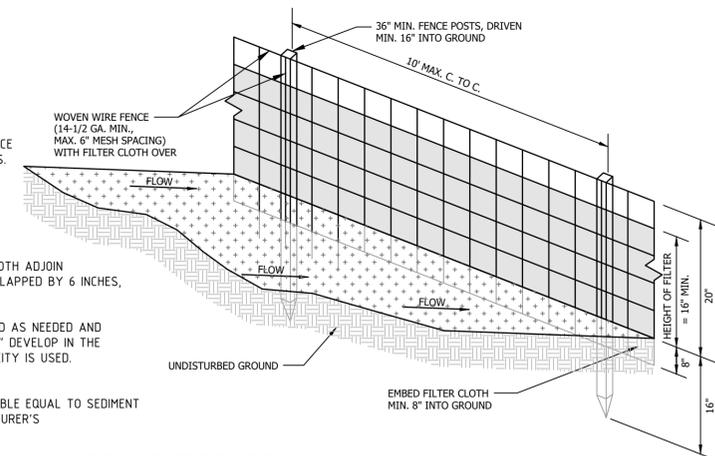
**EROSION CONTROL BLANKET INSTALLATION DETAIL**  
NOT TO SCALE



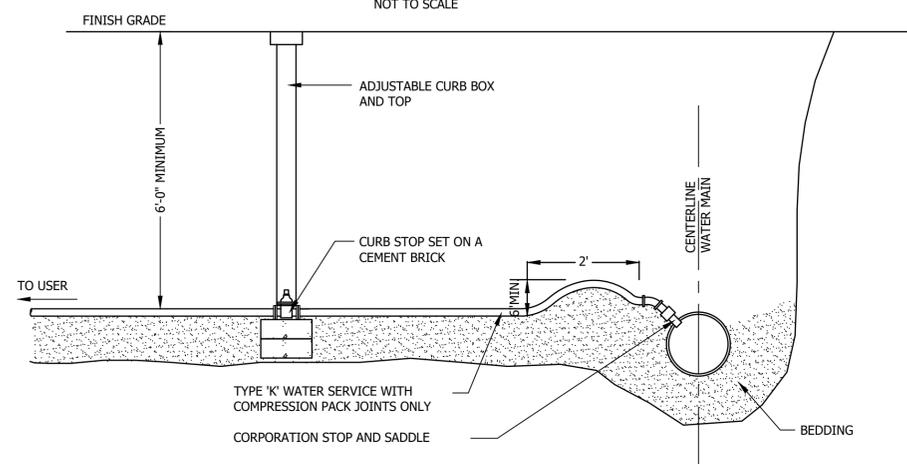
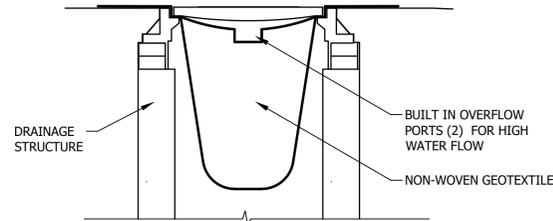
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

**CONSTRUCTION NOTES FOR SEDIMENT FENCE**

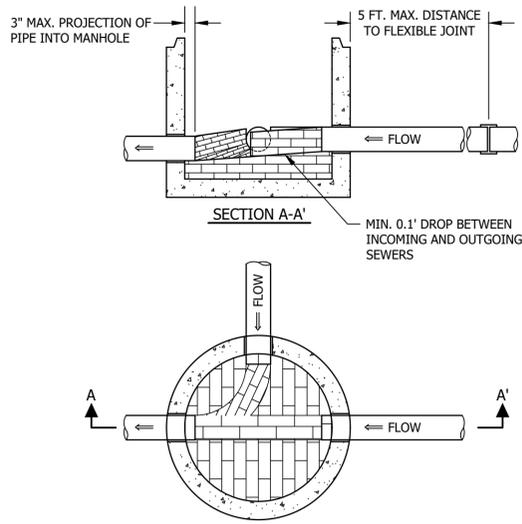
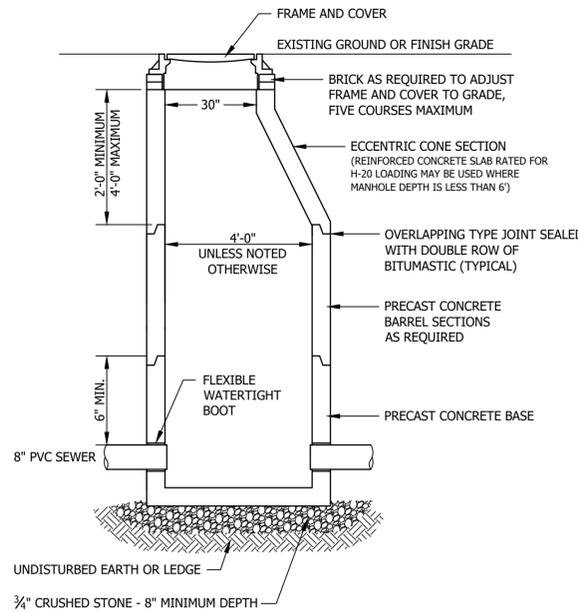
- WOVEN WIRE FENCE, IF REQUIRED, TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SEDIMENT FENCE, OR 50% OF CAPACITY IS USED.
- 12" DIAMETER FILTREXX SILTSOXX SHALL BE CONSIDERED AN ACCEPTABLE EQUAL TO SEDIMENT FENCE IF INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



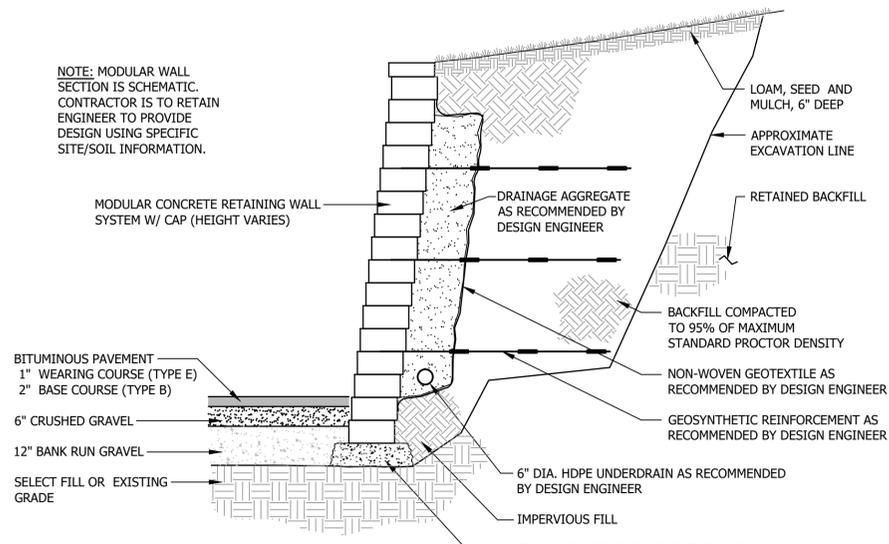
**SEDIMENT FENCE**  
NOT TO SCALE



**WATER SERVICE CONNECTION**  
NOT TO SCALE



NOTE: MODULAR WALL SECTION IS SCHEMATIC. CONTRACTOR IS TO RETAIN ENGINEER TO PROVIDE DESIGN USING SPECIFIC SITE/SOIL INFORMATION.



**MODULAR RETAINING WALL DETAIL**  
NO SCALE

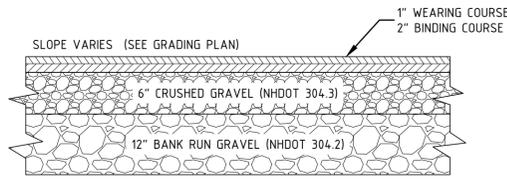
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32 & 34 MADBURY ROAD  
DURHAM, NEW HAMPSHIRE

CONSTRUCTION DETAILS				
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
00	2022-03-02	INITIAL SUBMISSION	MCS	01

DATE: 2022-03-02 PROJECT #: 21585  
 ENG'D BY: MJS DRAWN BY: MCS  
 CHECK'D BY: MJS ARCHIVE #: H-  
 MICHAEL SIEVERY No. 8397 LICENSED PROFESSIONAL ENGINEER  
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**C501**

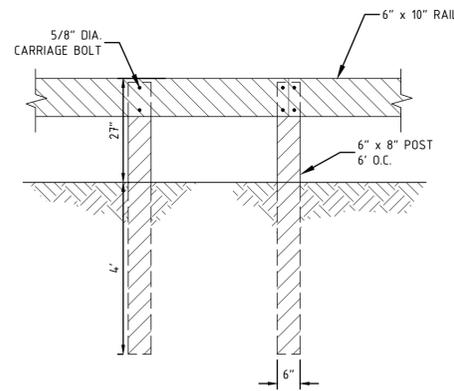
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- NOTES:
1. COMPLETELY REMOVE DELETERIOUS MATERIALS ENCOUNTERED BELOW PARKING AREA.
  2. COMPACT SUBGRADE TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR.

**PAVED PARKING LOT CROSS-SECTION**

NTS

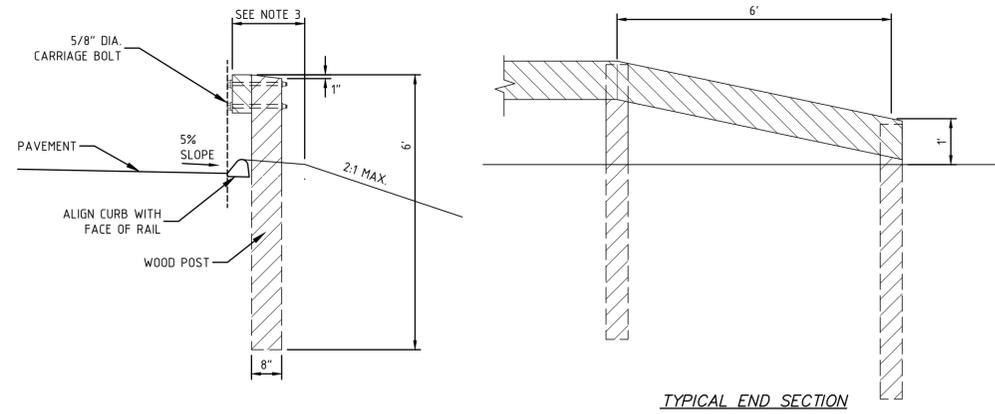


- NOTE:
1. ALL MATERIAL AND INSTALLATION METHODS SHALL CONFORM W/NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 606-GUARDRAIL.
  2. REFER TO SHEET C102 FOR LOCATION AND GRADING AROUND GUARD RAIL.
  3. FACE OF GUARDRAIL SHOULD BE NO CLOSER THAN 6'-3" FROM THE FACE OF THE INSTALLED RETAINING WALL OR 2'-6" FROM SLOPES GREATER THAN 5%.

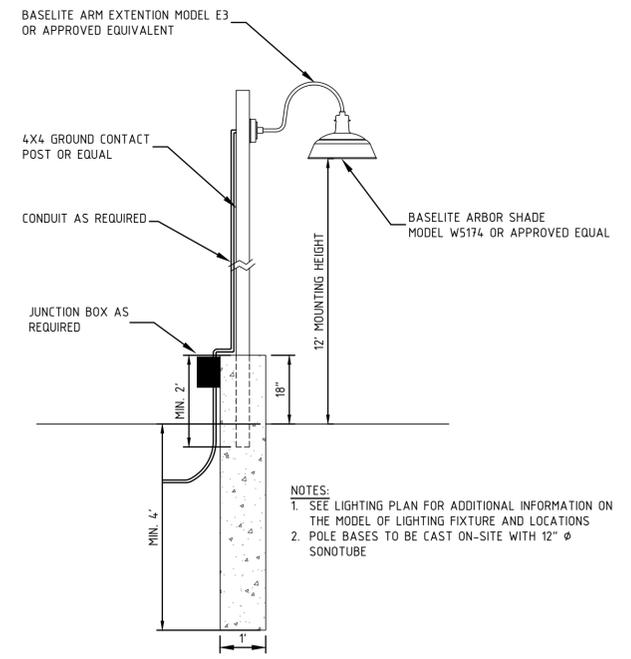
REFERENCE:  
TIMBER BRIDGE DESIGN, CONSTRUCTION, INSPECTION, AND MAINTENANCE PUBLISHED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE FOREST SERVICE.

**GUARD RAIL DETAIL**

NTS



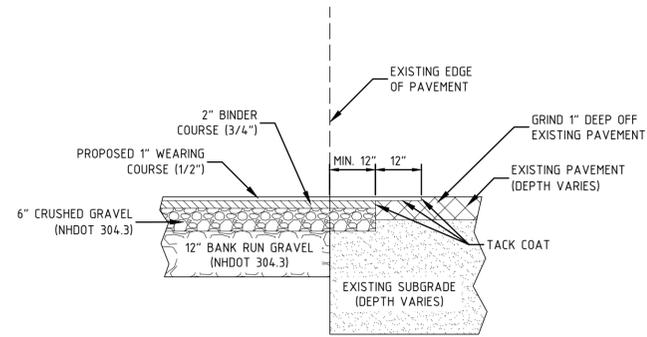
TYPICAL END SECTION



- NOTES:
1. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION ON THE MODEL OF LIGHTING FIXTURE AND LOCATIONS
  2. POLE BASES TO BE CAST ON-SITE WITH 12" Ø SONOTUBE

**POLE MOUNTED BASELITE ARBOR LIGHT FIXTURE**

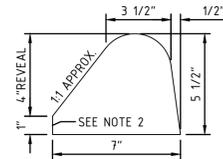
NTS



- NOTES:
1. SAWCUT THROUGH DEPTH OF PAVEMENT AT LEAST 1 FT. FROM EDGE OR GREATER IF REQUIRED BY NHDOT.
  2. INSTALL AND COMPACT CRUSHED GRAVEL TO GRADE.
  3. PLACE BINDER COURSE.
  4. GRIND EXISTING PAVEMENT 1 FT. WIDE TO A DEPTH NECESSARY TO PROPERLY MATCH NEW WEARING COURSE PAVEMENT.
  5. TACK COAT ALL EXISTING PAVEMENT SURFACES WITH EMULSIFIED ASPHALT (MS-1) PRIOR TO PLACING NEW PAVEMENT.

**TYPICAL PAVEMENT SAWCUT DETAIL**

NTS



- NOTES:
1. NHDOT ITEM 609.811
  2. MATCH DEPTH OF WEARING COURSE PAVEMENT
  3. SEE GUARD RAIL DETAIL FOR PLACEMENT OF CURB

**ASPHALT CURB (NHDOT TYPE B)**

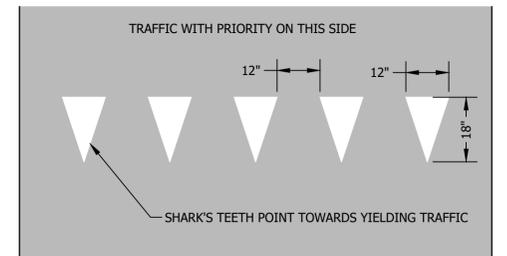
NTS

ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R1-2	30"	30"		1
R7-8	18"	12"		1
R7-8a	9"	18"		1

- NOTES:
1. ALL SIGNS SHALL BE PER "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
  2. ALL FREE STANDING SIGNS TO BE MOUNTED AT A MINIMUM HEIGHT OF 7' FROM THE EXISTING GRADE TO THE BOTTOM OF THE SIGN

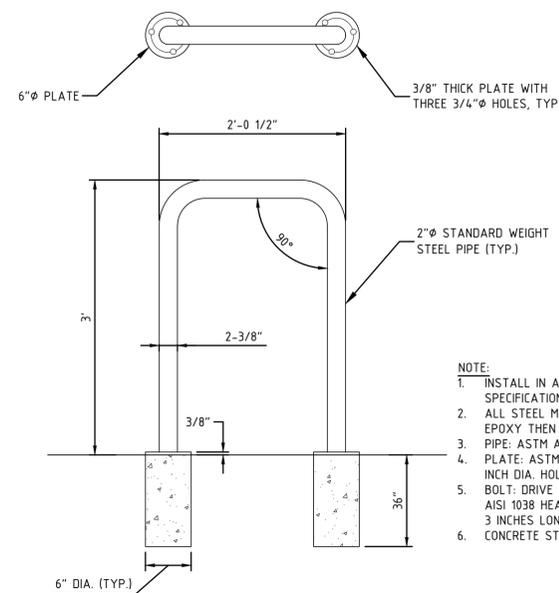
**SIGN SCHEDULE**

NOT TO SCALE



**YIELD LINE**

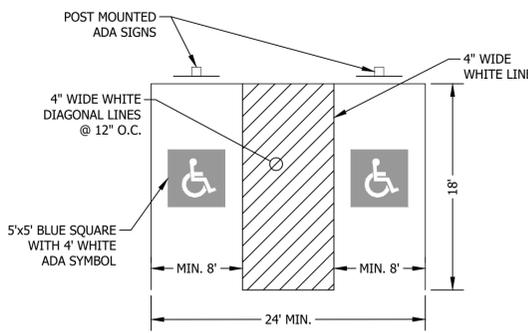
NOT TO SCALE



- NOTE:
1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
  2. ALL STEEL MEMBERS SHALL BE COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING
  3. PIPE: ASTM A53 GRADE B STANDARD WEIGHT STEEL PIPE
  4. PLATE: ASTM 136 3/8 INCH THICK PLATE WITH THREE 3/4 INCH DIA. HOLES AT 120 DEGREE SPACING.
  5. BOLT: DRIVE TYPE ANCHOR BOLT MADE OF ZINC PLATED AISI 1038 HEAT TREATED CARBON STEEL, 1/2 INCH DIA. BY 3 INCHES LONG.
  6. CONCRETE STRENGTH TO BE 3,000 PSI AT 28 DAYS.

**TYPICAL BIKE RACK DETAIL**

NTS



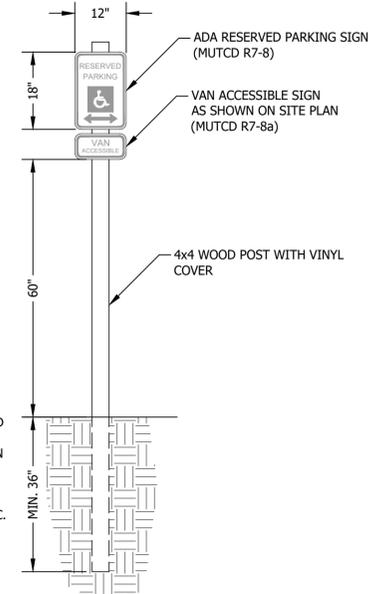
- NOTES:
1. SEE SITE PLAN FOR STRIPING LAYOUT

**PAVEMENT MARKINGS:**

1. STRIPE PARKING AREAS AND DRIVES AS SHOWN, INCLUDING PARKING SPACES, HANDICAP SYMBOLS, AND PAINTED ISLANDS. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) AND AASHTO M248 TYPE "F". MEDIAN ISLANDS AND CENTERLINES TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT.
2. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE "STANDARD ALPHABETS FOR HIGHWAY SIGN AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
3. PAINTED ISLANDS SHALL BE 4 INCH WIDE DIAGONAL LINES SPACED AT 3 FT. O.C. BORDERED BY 4 INCH WIDE LINES.
4. MAXIMUM SLOPE OF ADA PARKING IS 2%

**ADA PARKING AND SIGNAGE DETAIL**

NOT TO SCALE



- NOTES:
1. SEE PLANS FOR SIGN PLACEMENT.

**TYPICAL POLE MOUNTED SIGN DETAIL**

NOT TO SCALE

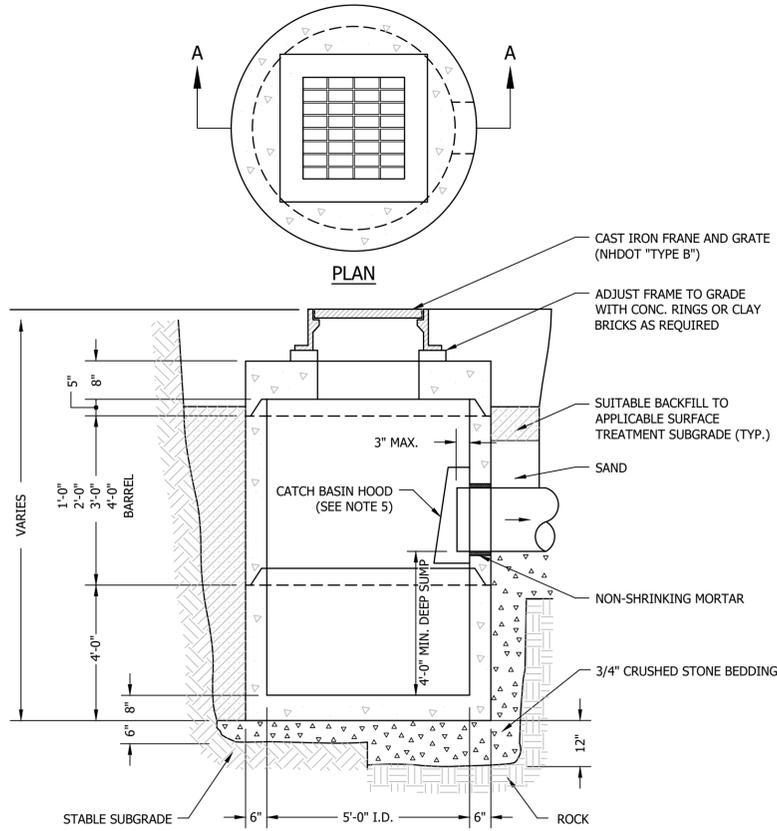
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32 & 34 MADBURY ROAD  
DURHAM, NEW HAMPSHIRE

**CONSTRUCTION DETAILS**

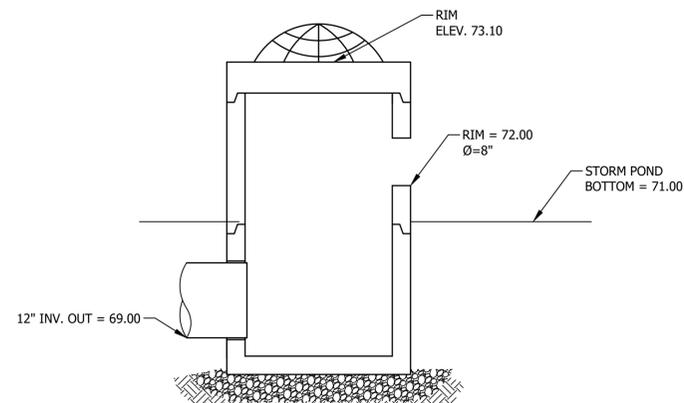
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
00	2022-03-02	INITIAL SUBMISSION	MCS	01

DATE: 2022-03-02 PROJECT #: 21585  
ENG'D BY: MJS DRAWN BY: MCS  
CHECK'D BY: H- ARCHIVE #:  
C502



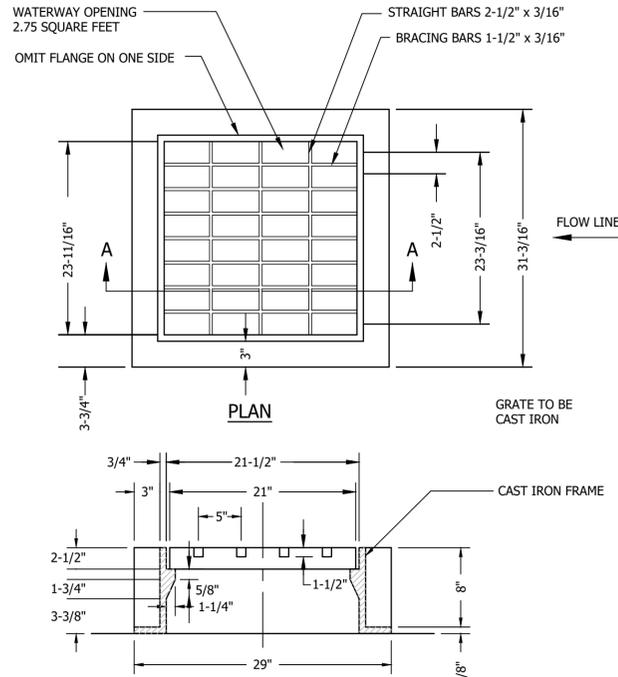
- NOTES:**
- CONCRETE SHALL A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS.
  - REINFORCING H-20 LOADING 4 x 4/4 x 4 W.W.M.
  - SHIP LAP JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT. AND SHALL BE SEALED WITH 1 STRIP OF 1" DIA. BUTYL RUBBER SEALANT.
  - EACH CASTING TO HAVE LIFTING HOLES CAST IN.
  - THE CATCH BASIN HOOD SHALL BE CONSTRUCTED FROM SOLID WALL HDPE PIPE GRADE PLATE. THE HOOD SHALL BE CONSTRUCTED SO THAT IT FORMS A Baffle AGAINST FLOATABLE LITTER AND OIL. THE HOOD SHALL PROTRUDE AT LEAST SIX INCHES OR 1/3 OF THE PIPE'S INSIDE DIAMETER, WHICHEVER IS GREATER, BELOW THE INVERT. THE CATCH BASIN HOOD SHALL BE SEALED TO THE CATCH BASIN STRUCTURE WITH AN OIL RESISTANT FOAM GASKET. VENT HOLES SHALL BE INSTALLED ON THE TOP OF THE HOOD TO ALLOW AIR FLOW INTO PIPE. THE CATCH BASIN HOOD SHALL BE ATTACHED TO THE STRUCTURE WITH STAINLESS STEEL ANCHOR STUDS AND NUTS, ALLOWING THE HOOD TO BE REMOVED AND INSTALLED WITH MINIMUM EFFORT. THE CATCH BASIN HOOD IS TO BE AS MANUFACTURED BY PLASTIC PIPE FABRICATION OR ENGINEER APPROVED EQUAL.

**DEEP SUMP CATCH BASIN W/ HOOD DETAIL**  
NTS

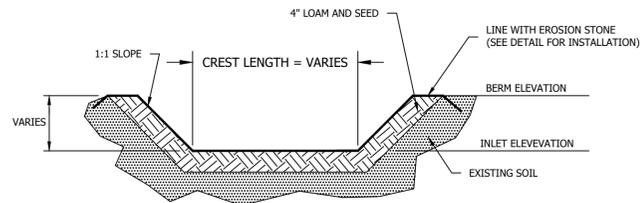


- NOTES:**
- SEE DRAIN MANHOLE DETAIL FOR STANDARD DMH CONSTRUCTION REQUIREMENTS.
  - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO VERIFY DIAMETER, INVERTS, AND WEIR.

**OCS-100 5' DIA DMH**  
NOT TO SCALE



**NHDOT TYPE "B" GRATE DETAIL**  
NOT TO SCALE



NOTES: CREST BREADTH IS WIDTH OF BERM AT SPILLWAY.

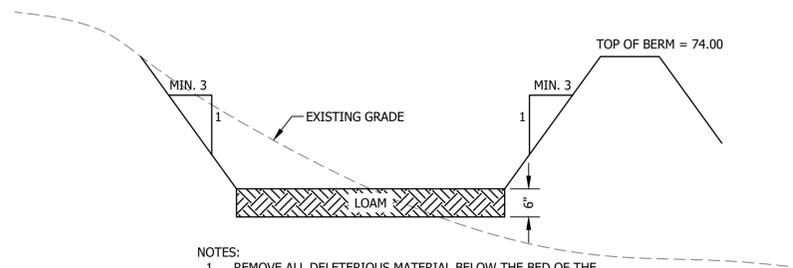
**SPILLWAY CROSS SECTION**  
NOT TO SCALE

NOTE: SPILLWAY TO BE CONSTRUCTED TO THE DIMENSIONS AND SPECIFICATIONS SHOWN.

**SPILLWAY DIMENSION TABLE**

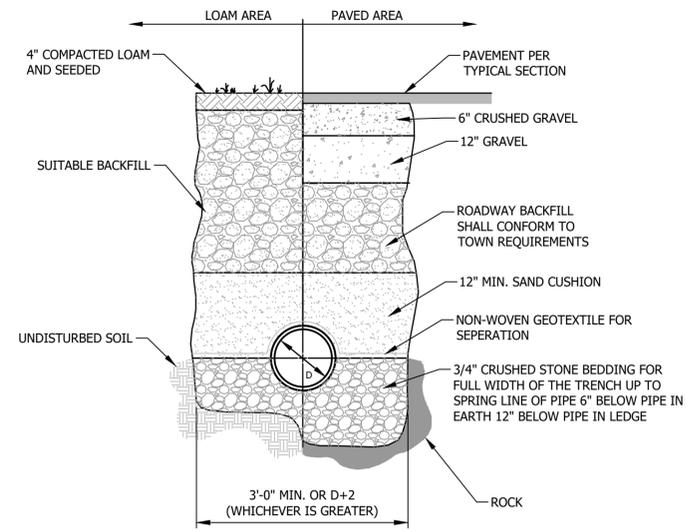
LOCATION	CREST ELEV.	BERM ELEV.	LENGTH*	WIDTH*
SPILLWAY #1 - SEDIMENT FOREBAY	73.6	74.00	7'	7'

\*REFER TO DETAIL ABOVE FOR LOCATION OF WIDTH AND LENGTH

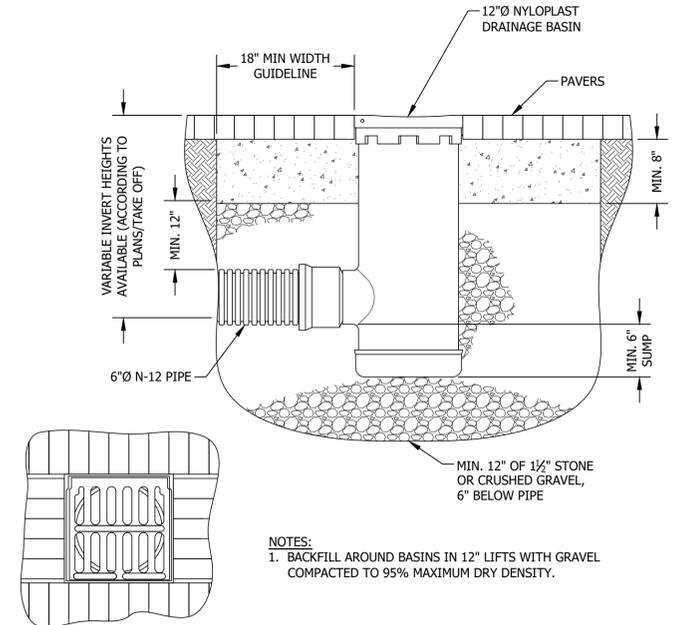


- NOTES:**
- REMOVE ALL DELETERIOUS MATERIAL BELOW THE BED OF THE STORMWATER BASIN AND THE BERM.
  - SCARIFY SOIL BEFORE PLACING FILL.
  - SEE GRADING PLAN FOR LOCATION AND SIZE OF POND.

**TYPICAL STORMWATER POND SECTION**  
NOT TO SCALE

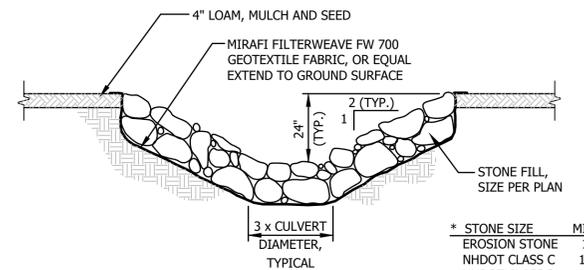


**TYPICAL DRAINAGE TRENCH DETAIL**  
NTS



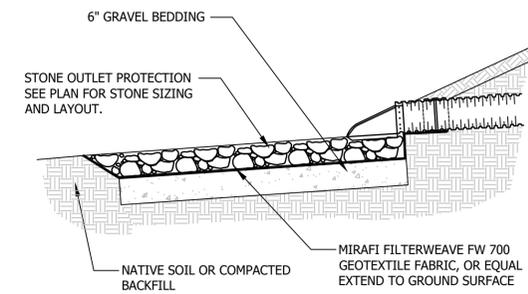
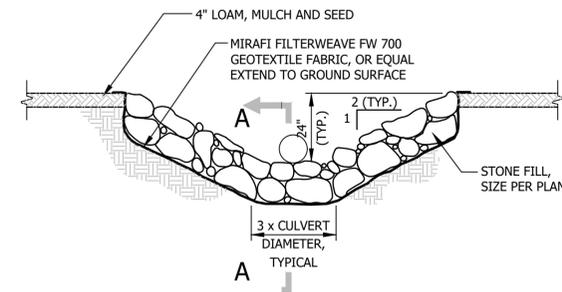
- NOTES:**
- BACKFILL AROUND BASINS IN 12" LIFTS WITH GRAVEL COMPACTED TO 95% MAXIMUM DRY DENSITY.

**NYOPLAST DRAIN BASIN DETAILS**  
NTS



* STONE SIZE	MIN. D
EROSION STONE	12"
NHDOT CLASS C	12"
NHDOT CLASS B	18"
NHDOT CLASS A	30"

**STONE LINED OUTLET DETAIL**  
NOT TO SCALE



**STONE LINED OUTLET DETAIL**

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32 & 34 MADBURY ROAD  
DURHAM, NEW HAMPSHIRE

**CONSTRUCTION DETAILS**

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
00	2022-03-02	INITIAL SUBMISSION	MCS	01

DATE: 2022-03-02 PROJECT #: 21585  
 ENG'D BY: MJS DRAWN BY: MCS  
 CHECK'D BY: MJS ARCHIVE #: H-  
**C503**

**32 MADBURY DURHAM RESIDENCES, LLC**  
52 MADBURY ROAD  
DURHAM, NH

**ZONING ANALYSIS:**

	REQD.	PROPOSED
MAX HEIGHT:	30FT/35FT (CU)	30FT MAX
SETRACKS*		
FRONT	30FT	SHOWN
SIDE	15FT	SHOWN
REAR	20FT	SHOWN
IMPERVIOUS COVER (50%)	24,500SF	24,500SF
PARKING:** (1/OCC)	17 NEW, 51 TOTAL	39 SPACES
DENSITY:** (3,000SF/UNIT)	13 NEW UNITS MAX	6 NEW UNITS
AREA/OCC. (200SF/OCC)	3,400SF NEW	5,850SF NEW
	10,200SF TOTAL	16,178SF TOTAL

\* "FRONT" OF CORNER LOT SUBJECT TO OPINION OF ZONING ADMINISTRATOR. MADBURY RD. IS CURRENTLY ASSUMED AS THE FRONT YARD.  
 \*\* PARKING SUBJECT TO 10' SIDE SETBACKS, BASE ZONING FRONT & REAR SETBACKS.  
 \*\*\* DENSITY CALCULATION USES EXCESS CAPACITY FROM ZONING, AT THE TIME OF LAST ADDITION (CIRCA 1980s). THE MINIMUM LOT AREA IS UNDERSTOOD TO BE 10,000SF, RESULTING IN 39,007 +/- SF TO BE USED FOR DENSITY CALCULATIONS.

**UNIT MATRIX:**

TWO-BED	THREE-BED	TOTAL
2A 850SF	3A 1000SF	
1 UNIT	5 UNITS	6 UNITS TOTAL
2 BEDS	15 BEDS	17 BEDS TOTAL



**1** CONCEPT SITE PLAN  
SCALE: 1/32" = 1'-0"

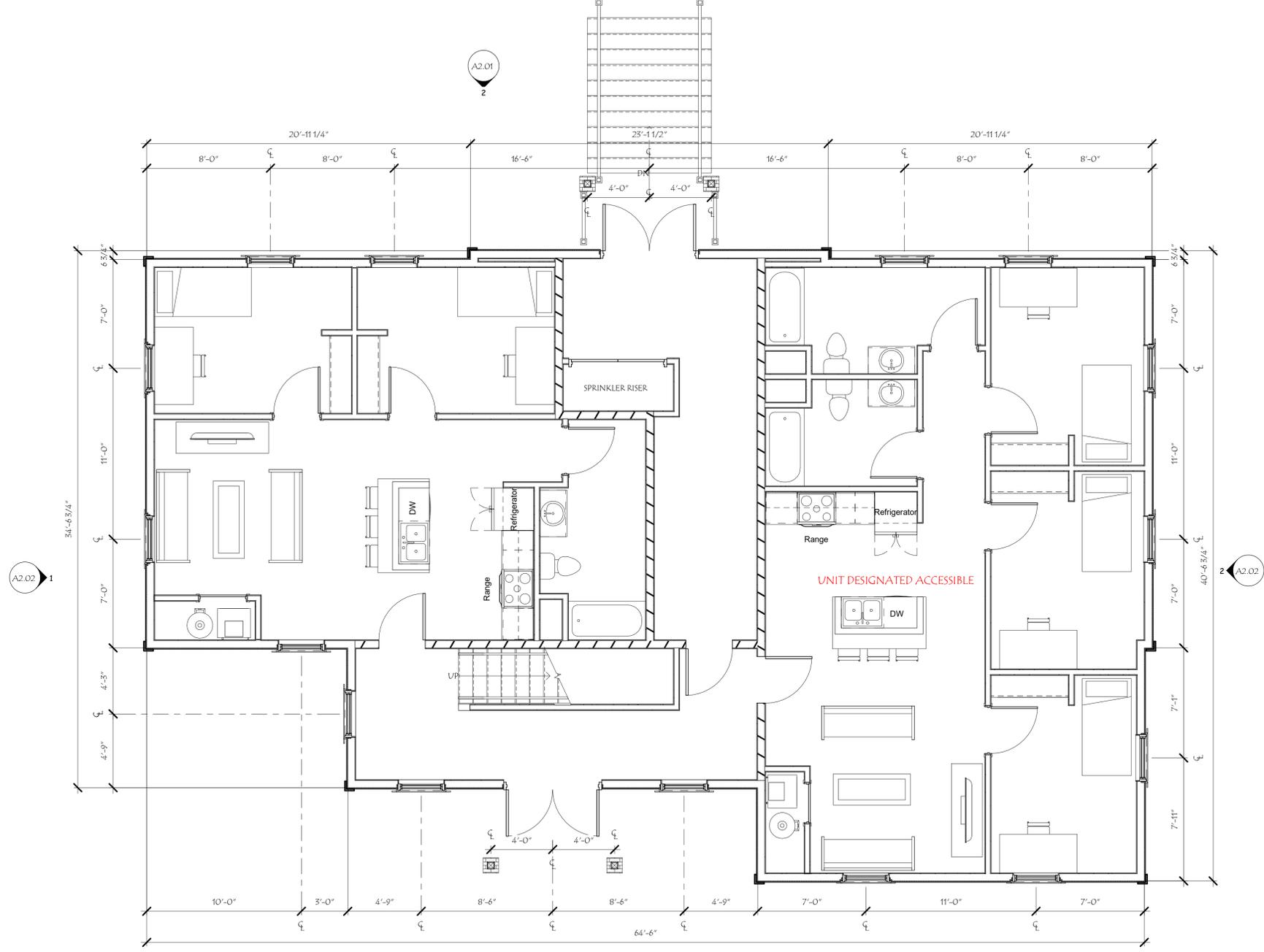
Revisions:

#	Description	Date

Scale:	1/32" = 1'-0"
Drawn By:	PPS
Checked By:	CC
Project No.:	2021081
Date:	02/14/22

Title:	CONCEPT SITE PLAN
Scale:	A1.00

**1** 1st Floor  
SCALE: 1/4" = 1'-0"



Title:  
1ST FLOOR PLAN

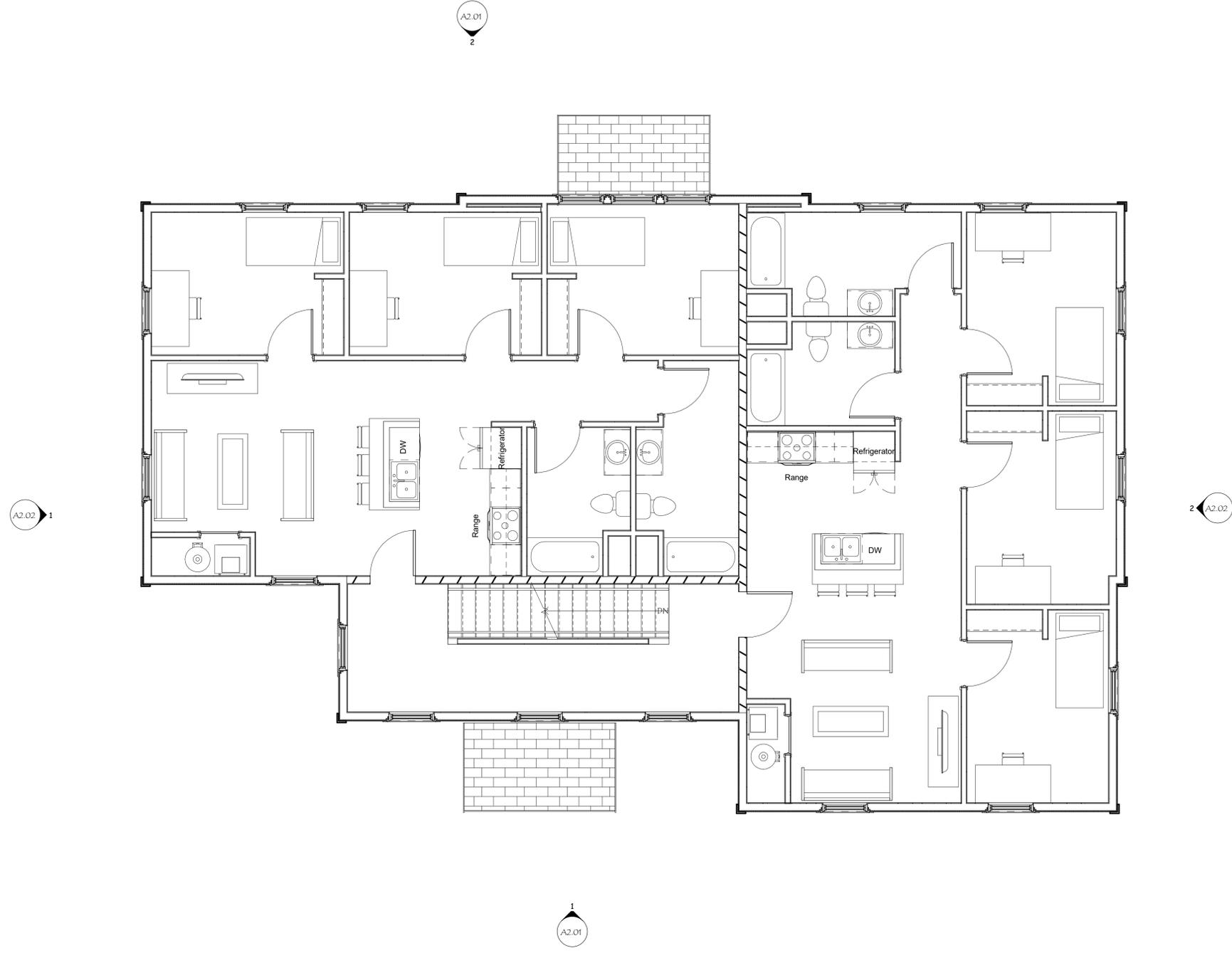
Scale: 1/4" = 1'-0"  
 Drawn By: Author  
 Checked By: Checker  
 Project No.: 2021081  
 Date: 01/06/22

Revisions: #	Description	Date

**32 MADBURY DURHAM RESIDENCES,  
LLC**  
52 MADBURY ROAD  
DURHAM, NH

**A1.01**

1 2nd Floor  
SCALE: 1/4" = 1'-0"



Title:  
2ND FLOOR PLAN

Scale: 1/4" = 1'-0"  
 Drawn By: Author  
 Checked By: Checker  
 Project No.: 2021081  
 Date: 01/06/22

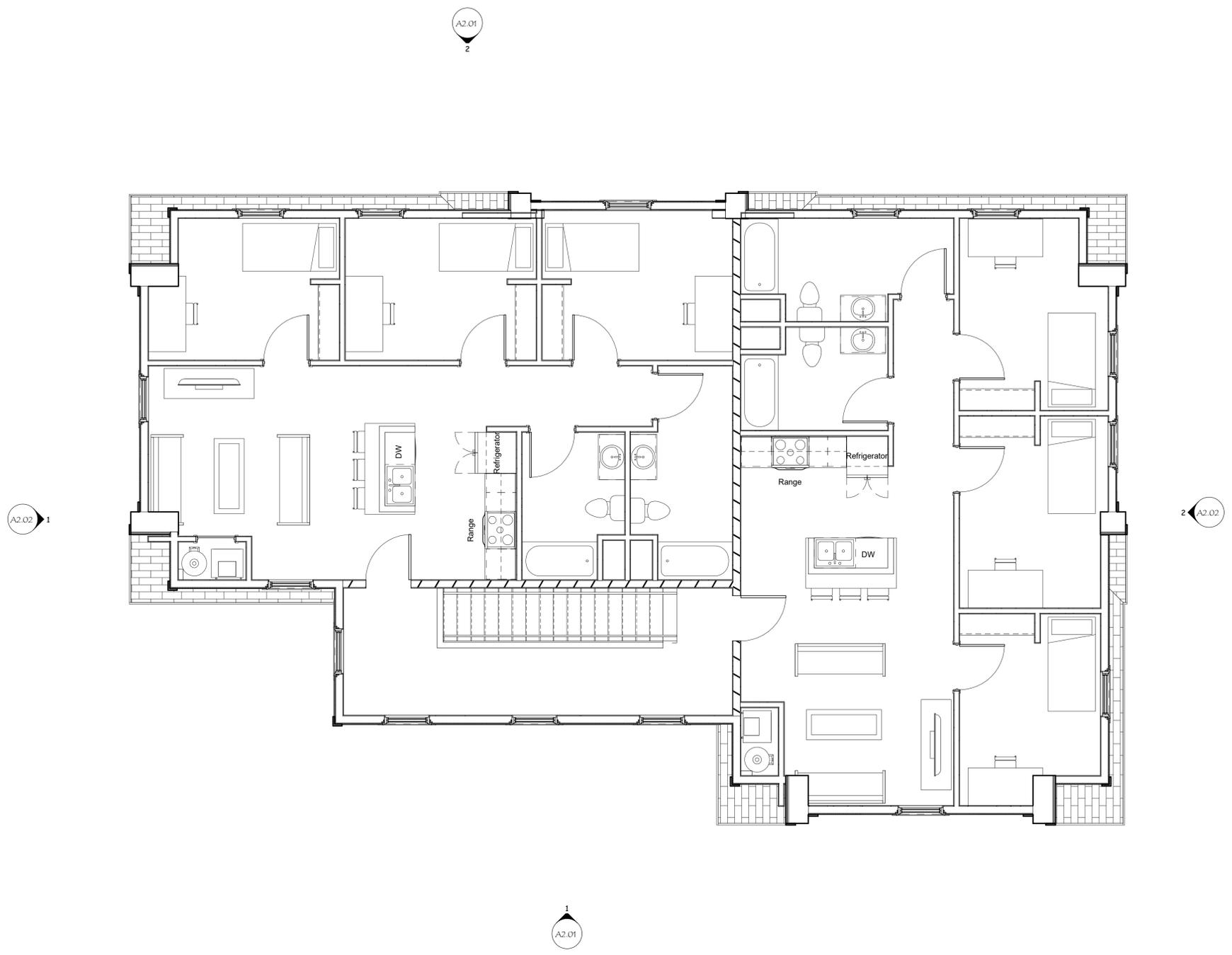
Revisions:

#	Description	Date

32 MADBURY DURHAM RESIDENCES,  
 LLC  
 52 MADBURY ROAD  
 DURHAM, NH

A1.02

1 3rd Floor  
SCALE: 1/4" = 1'-0"



Title:  
3RD FLOOR PLAN

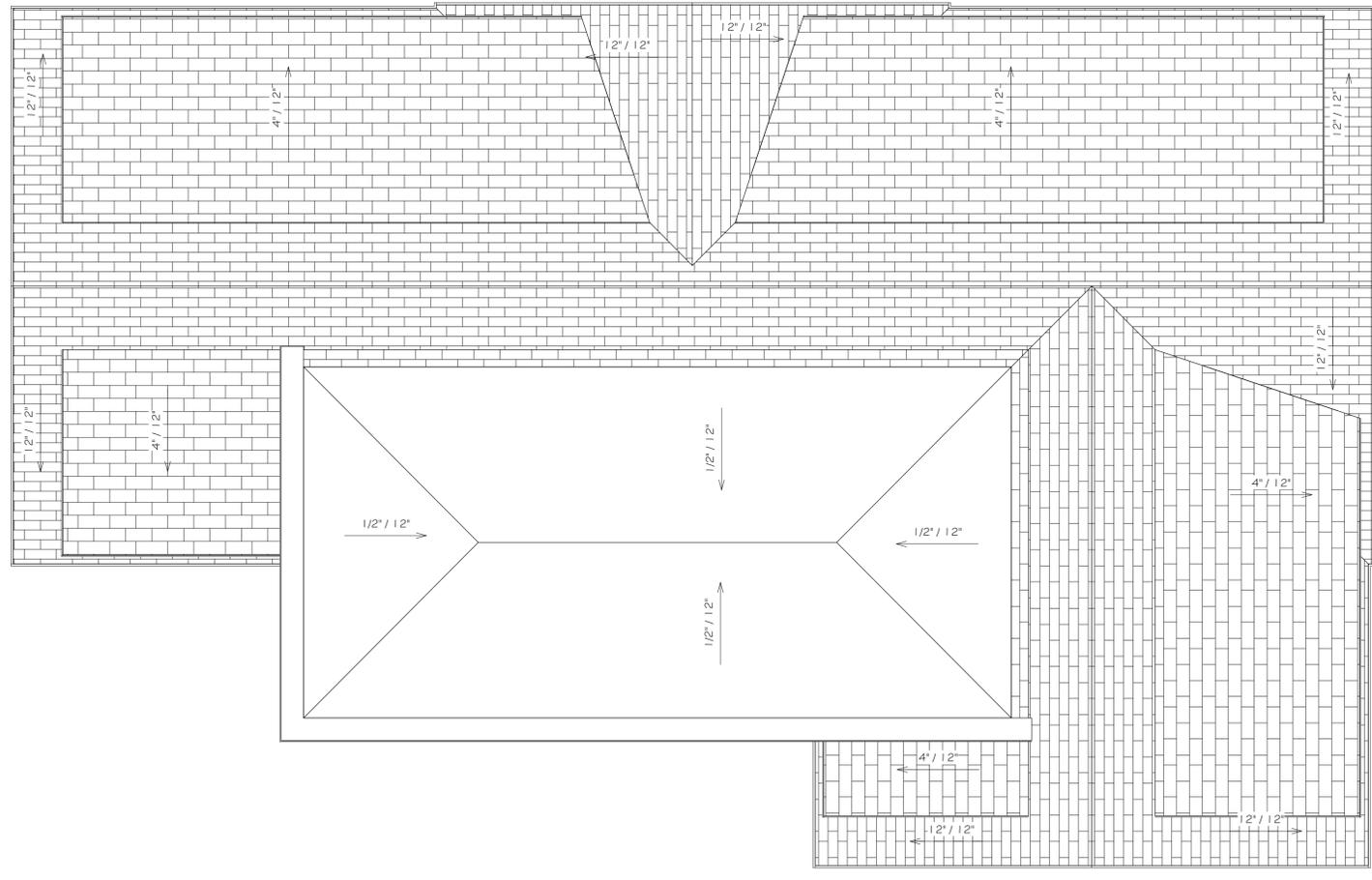
A1.03

Scale: 1/4" = 1'-0"  
Drawn By: Author  
Checked By: Checker  
Project No.: 2021081  
Date: 01/06/22

Revisions: #	Description	Date

32 MADBURY DURHAM RESIDENCES,  
LLC  
52 MADBURY ROAD  
DURHAM, NH

**1** TO Plate  
SCALE: 1/4" = 1'-0"



A2.02 1

A2.01 2

A2.01 1

A2.02 2

Title:  
ROOF PLAN

Scale: 1/4" = 1'-0"  
Drawn By: Author  
Checked By: Checker  
Project No.: 2021081  
Date: 01/06/22

Revisions: #	Description	Date

**32 MADBURY DURHAM RESIDENCES, LLC**  
52 MADBURY ROAD  
DURHAM, NH



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

32 MADBURY DURHAM RESIDENCES,  
LLC  
52 MADBURY ROAD  
DURHAM, NH

Revisions:	#	Description	Date

Scale:	1/4" = 1'-0"
Drawn By:	Author
Checked By:	Checker
Project No.:	2021081
Date:	01/06/22

Title:	EXTERIOR ELEVATIONS
	A2.01



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

Revisions:	Description	Date
#		

Scale:	1/4" = 1'-0"
Drawn By:	Author
Checked By:	Checker
Project No.:	2021081
Date:	01/06/22

Title:	EXTERIOR ELEVATIONS
	A2.02



**32 MADBURY DURHAM RESIDENCES,**

**LLC**

52 MADBURY ROAD  
 DURHAM, NH

Revisions:	Description	Date
#		

Scale:	PPS	CC
Drawn By:		
Checked By:		
Project No.:	2021081	
Date:	02/14/22	

Title:	RENDER
	<b>A9.01</b>