

LEGEND	
	UTILITY POLE
	SIGN
	DRILL HOLE FOUND
	IRON PIPE/ROD FOUND
	FIRE HYDRANT
	GAS GATE VALVE
	WATER GATE VALVE
	GAS SHUTOFF VALVE
	WATER SHUTOFF VALVE
	SPI
	VENT PIPE
	CATCH BASIN (ROUND)
	CATCH BASIN (SQUARE)
	ROOF DRAIN
	DRAIN MANHOLE
	SEWER MANHOLE
	MANHOLE
	TREE STUMP
	CONIFEROUS TREE
	DECIDUOUS TREE
	CONCRETE
	RIP RAP
	LANDSCAPED AREA
	CRUSHED STONE
	GRANITE
	BRICK
	BOULDER
	BOLLARD
	DRAINAGE FLOW DIRECTION ARROW
	TYPICAL
	RETAINING WALL
	FINISHED FLOOR
	EDGE OF PAVEMENT
	SINGLE WHITE LINE
	SINGLE YELLOW LINE
	CONCRETE
	VERTICAL GRANITE CURB
	SLOPED GRANITE CURB
	SLOPED BITUMINOUS BERM
BEARING	
	DIST
	S
	DRAIN LINE
	GAS LINE
	TELECOMMUNICATIONS LINE
	UNDERGROUND ELECTRIC LINE
	APPROX. ABUTTERS LOT LINE
	TREE LINE
	SHRUB LINE
	STONE WALL
	CONTOUR LINE
	OVERHANG

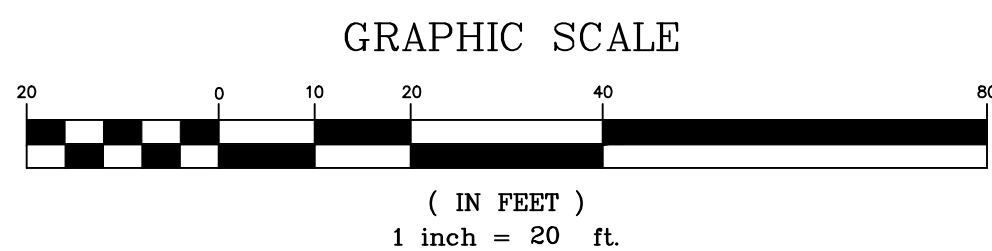
TBM "A"
MAG NAIL SET, UP 6"
IN POLE #NETCO 13/6/1
ELEV.=74.74

MADBURY

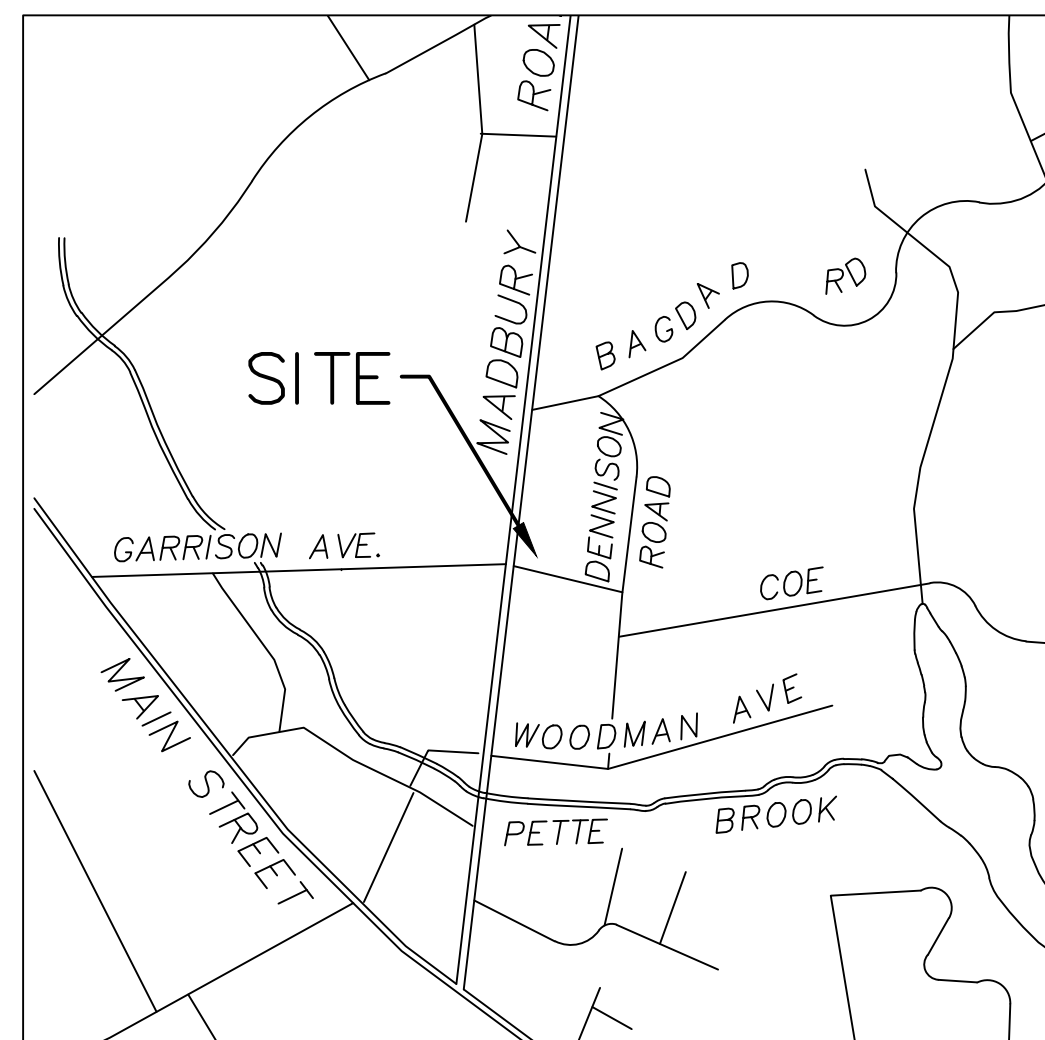
ROAD

GARRISON

AVENUE



NOTE:
ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.



LOCATION MAP
N.T.S.

GENERAL NOTES:

- REFERENCE: TAX MAP 2, LOT 10-3
- TOTAL PARCEL AREA: 48,747 SQ. FT. OR 1.12 AC.

OWNER OF RECORD: AAM DURHAM RESIDENCES, LLC
78 BLANCHARD ROAD, SUITE 100
BURLINGTON, MA 01803
R.C.R.D. BOOK 4850, PAGE 20

3. ZONE: PO
DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED/EXISTING
MIN. LOT AREA	10,000 sq. ft.	48,747 sq. ft.
MIN. FRONTAGE	100 ft.	469 ft. ±
MIN. FRONT SETBACK		
-MINOR STREET	30 ft.	---
-COLLECTOR STREET	30 ft.	32 ft.
-ARTERIAL STREET	50 ft.	---
MIN. SIDE/REAR SETBACK	15/20 ft.	25/53 ft.
MAX. BUILDING HEIGHT	30 ft.	30 ft.
MAX. BUILDING HEIGHT WITH SPECIAL EXCEPTION	35 ft.	
MAX. IMPERVIOUS RATIO	50%	48.8%

- FIELD SURVEY PERFORMED BY N.J.M. & M.A.B. DURING 06/14 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNETGPS VRS NETWORK.
- VERTICAL DATUM IS BASED ON APPROXIMATE NAVD88(GEOD12A) (±2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GNSS VRS NETWORK.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE PROPOSED BUILDING AND SITE IMPROVEMENTS TO THE SUBJECT LOT.
- THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.

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AAM DURHAM
RESIDENCES, LLC

32 & 34 MADBURY ROAD
DURHAM, NH

PRELIMINARY SITE PLAN

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: 10/20/21	PROJECT #: 21585
ENGINE'D BY: MJS	DRAWN BY: AWS
CHECK'D BY: MJS	ARCHIVE #: H---

C101

DATE OF PRINT
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1

CONCEPT SITE PLAN

SCALE: 1/32" = 1'-0"



ZONING ANALYSIS:

	REQD.	PROPOSED
MAX HEIGHT:	30FT/35FT (CU)	<30FT MAX
SETBACKS:		
FRONT	30FT	SHOWN
SIDE	15FT	SHOWN
REAR	20FT	SHOWN
IMPERVIOUS COVER (50%)	24,500SF	<24,500SF
PARKING:** (1/OCC)	17 NEW, 51 TOTAL	39 SPACES
DENSITY:*** (3,000SF/UNIT)	13 NEW UNITS MAX	6 NEW UNITS
AREA/OCC: (200SF/OCC)	3,400SF NEW 10,200SF TOTAL	5,850SF NEW 16,178SF TOTAL

* "FRONT" OF CORNER LOT SUBJECT TO OPINION OF ZONING ADMINISTRATOR. MADBURY RD. IS CURRENTLY ASSUMED AS THE FRONT YARD.
** PARKING SUBJECT TO 10' SIDE SETBACKS, BASE ZONING FRONT & REAR SETBACKS.
*** DENSITY CALCULATION USES EXCESS CAPACITY FROM ZONING, AT THE TIME OF LAST ADDITION (CIRCA 1980s). THE MINIMUM LOT AREA IS UNDERSTOOD TO BE 10,000SF, RESULTING IN 39,007 +/- SF TO BE USED FOR DENSITY CALCULATIONS.

UNIT MATRIX:

TWO-BED		1 UNIT	2 BEDS
-2A	850SF	1 UNIT	
THREE-BED		5 UNITS	15 BEDS
-3A	1000SF	5 UNITS	
TOTAL		6 UNITS TOTAL	17 BEDS TOTAL



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32 MADBURY ROAD
DURHAM, NH

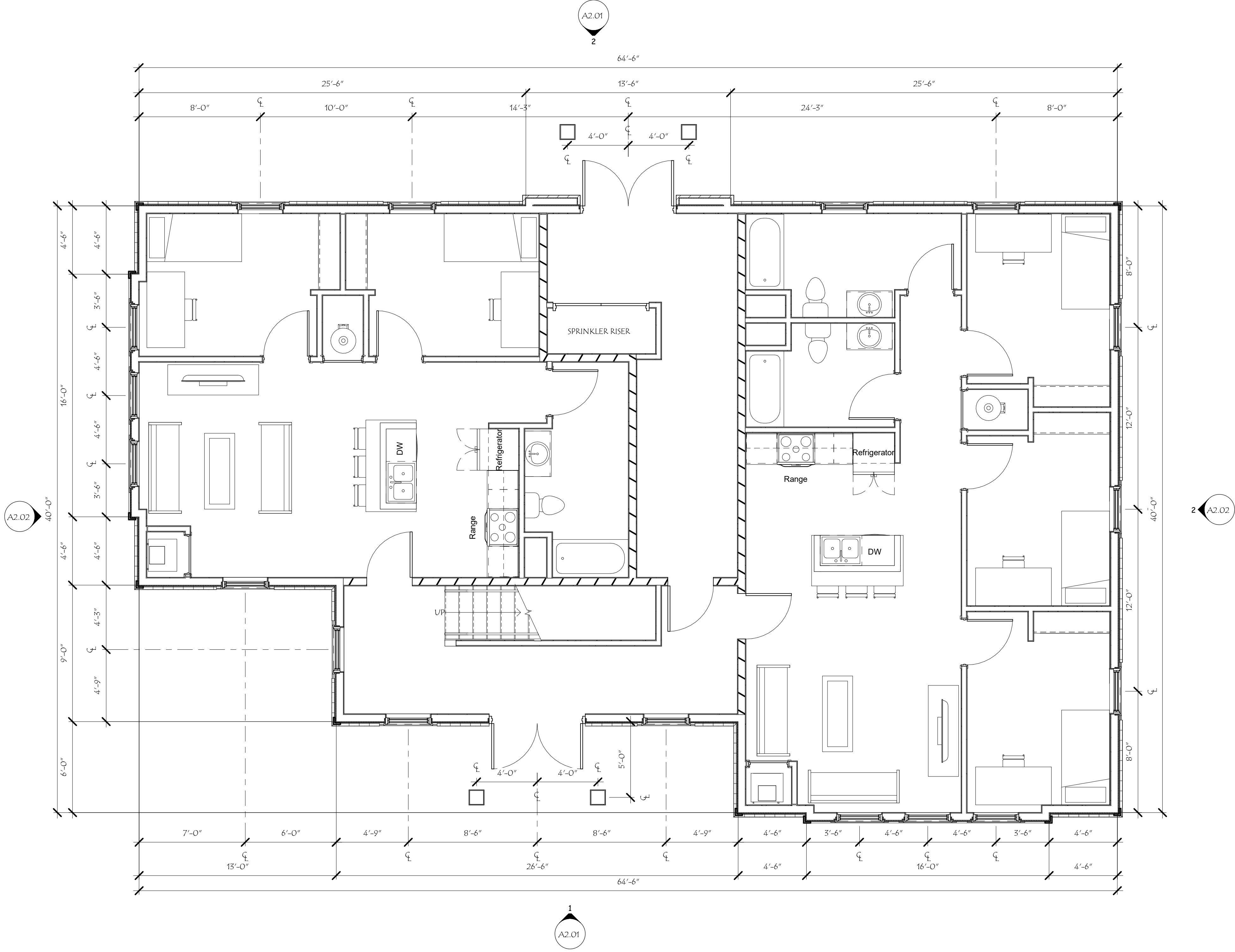
Revisions:			
#	Description	Author	Date

Scale:	1/32" = 1'-0"
Drawn By:	Author
Checked By:	Checker
Project No.:	2021081
Date:	10/20/21

Title: CONCEPT SITE PLAN

A1.00

1 1st Floor
SCALE: 1/4" = 1'-0"



Title:
1ST FLOOR PLAN

Scale:
1/4" = 1'-0"

Drawn By:
Author

Checked By:
Checker

Project No.:
2021081

Date:
10/20/21

A1.01

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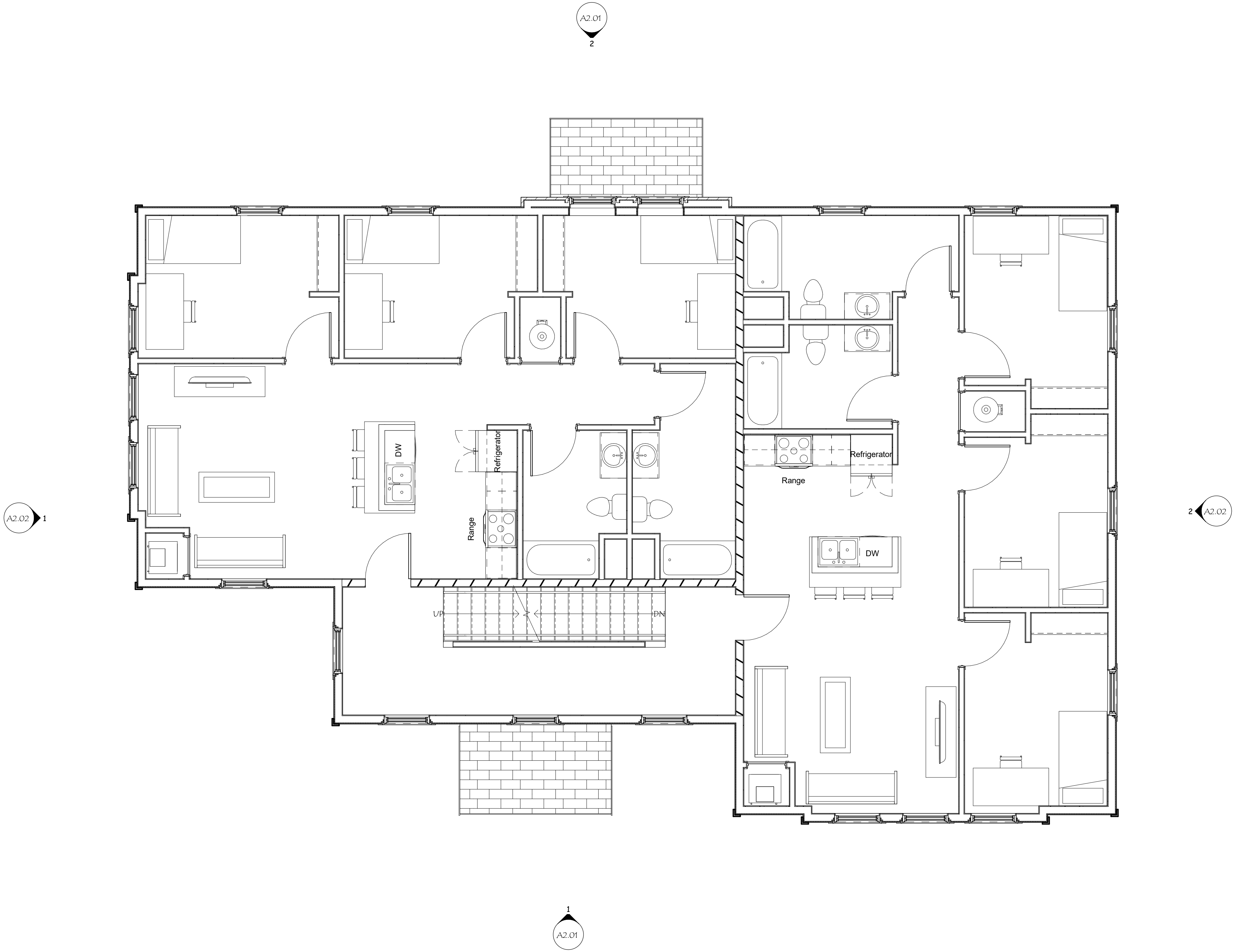
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32 MADBURY ROAD
DURHAM, NH

1

2nd Floor

SCALE: 1/4" = 1'-0"



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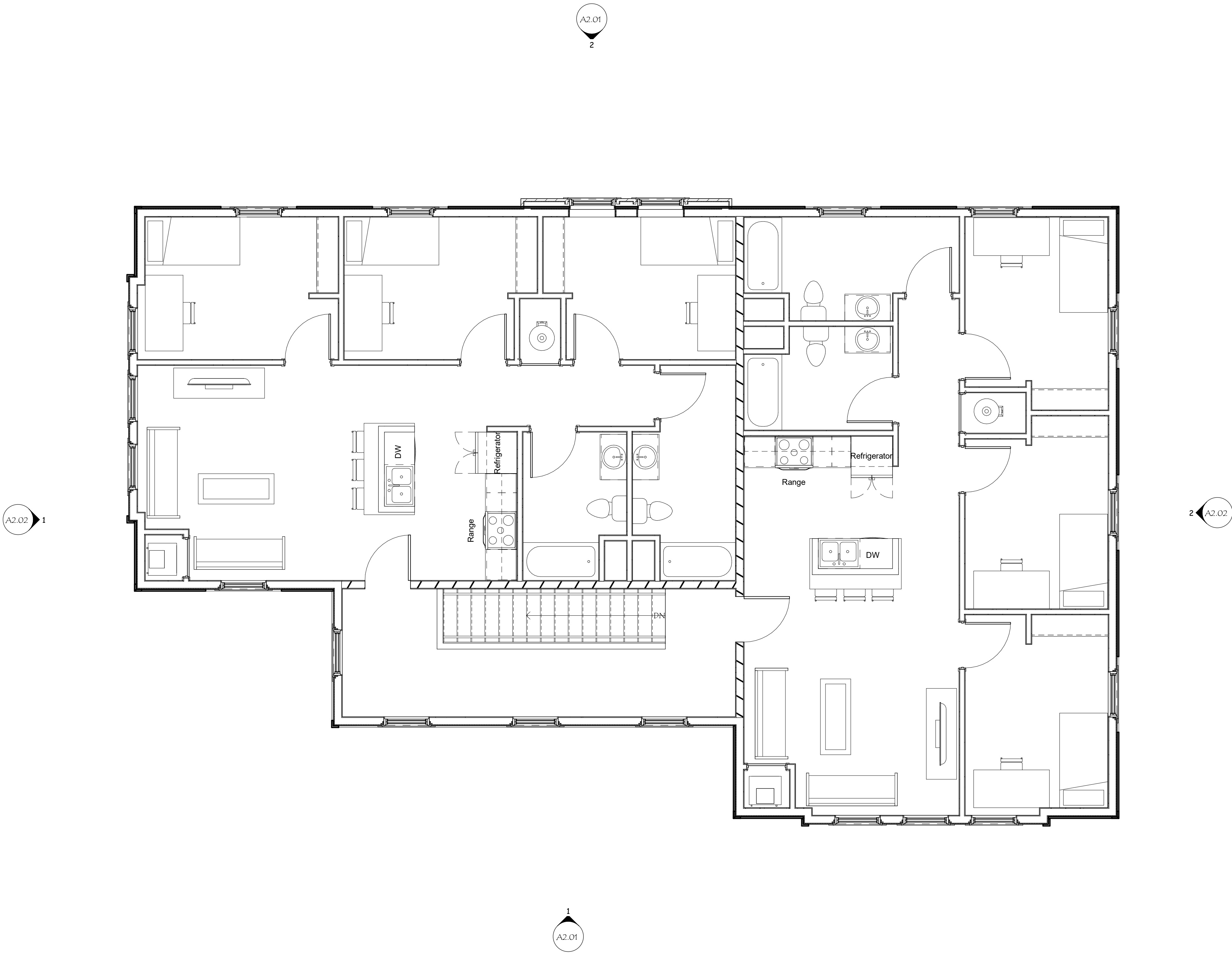
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DURHAM, NH

Title: 2ND FLOOR PLAN	Scale: 1/4" = 1'-0"	Revisions:	
	Drawn By: Author	#	Description
A1.02	Checked By:	Date	
	Project No.:		
Date:			

1

3rd Floor

SCALE: 1/4" = 1'-0"



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DURHAM, NH

Title: 3RD FLOOR PLAN	Scale: 1/4" = 1'-0"	Revisions:	
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	Project No.:		
	Date:		

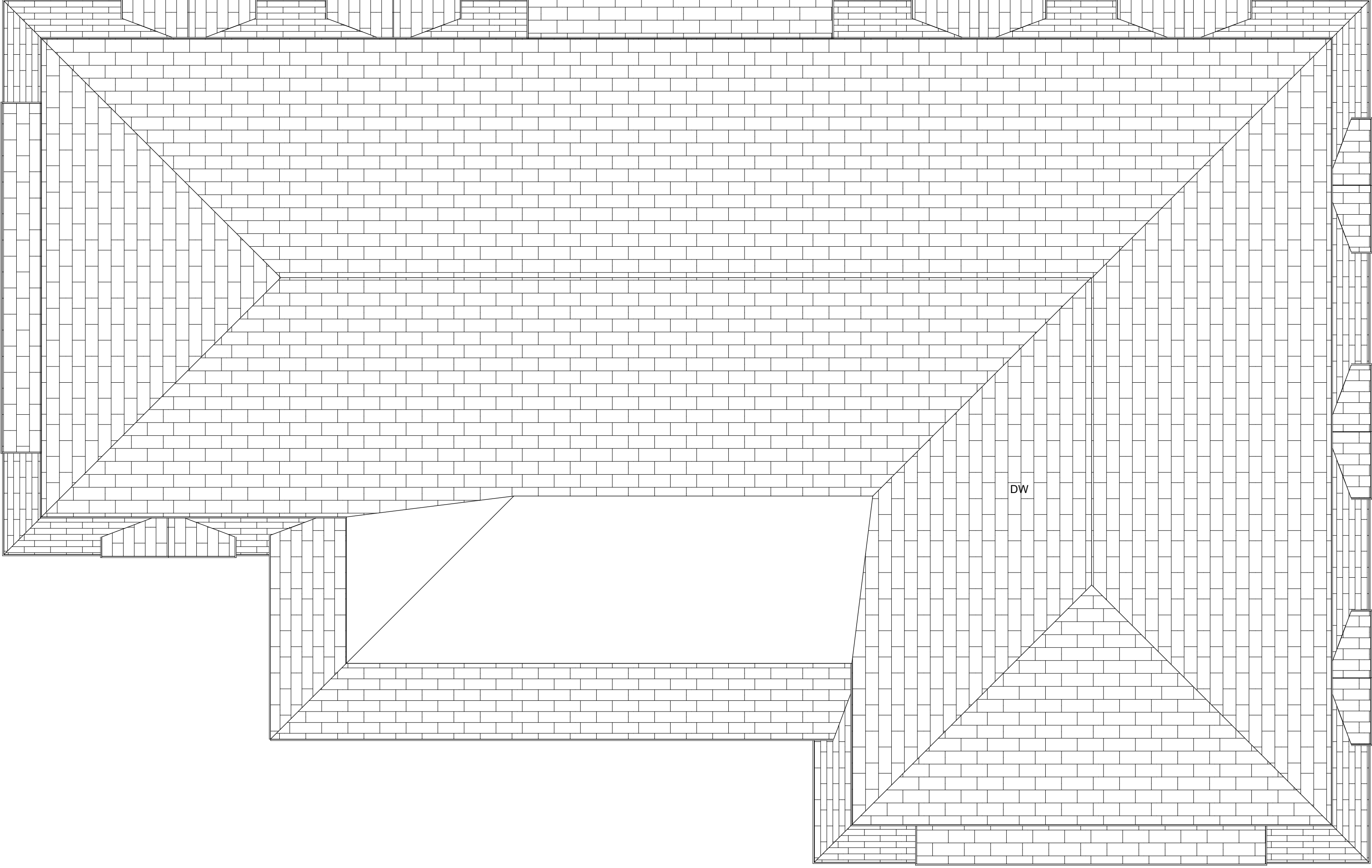
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TO Plate

SCALE: 1/4" = 1'-0"

A2.02

1



A2.01

1

A2.01

2

A2.02

2

Title:
ROOF PLAN

Scale:
1/4" = 1'-0"

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Author

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Checker

Project No.:
2021081

Date:
10/20/21

A1.04

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Revisions:		
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2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

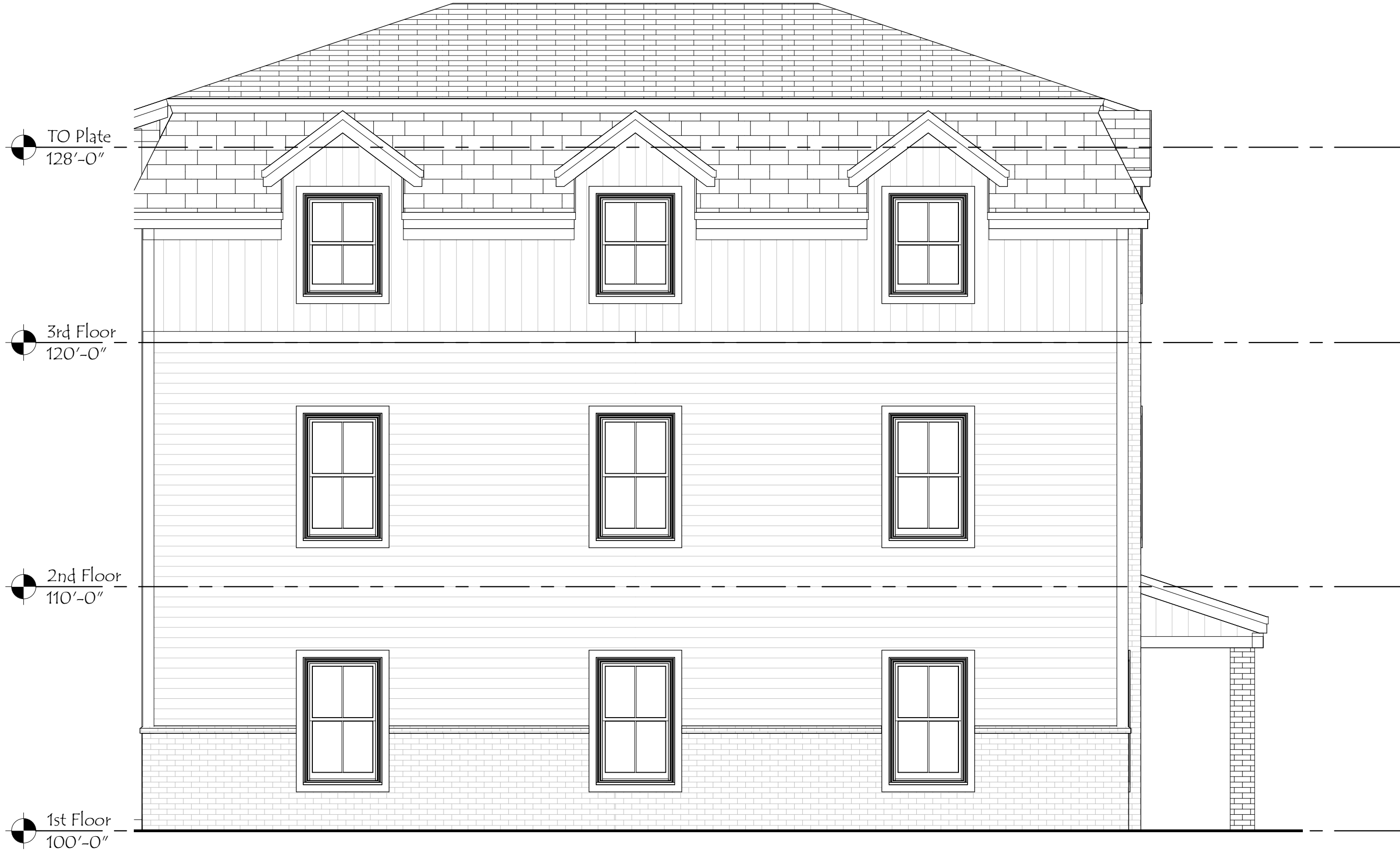


1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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DURHAM, NH

Title: EXTERIOR ELEVATIONS	Scale:			Revisions:		Date
	Drawn By:	Author	1/4" = 1'-0"	#	Description	
A2.01	Checked By:	Checker				
	Project No.:	2021081				
Date:						
10/19/2021 10:08 PM						



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

MARKET
SQUARE

ARCHITECTS
104 Congress St., STE 203
Portsmouth, NH 03801
PH: 603.501.0202

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DURHAM, NH

Title:		Scale:		Revisions:		Date:	
EXTERIOR ELEVATIONS		1/4" = 1'-0"		#	Description		
		Drawn By:	Author				
		Checked By:	Checker				
		Project No.:	2021081				
A2.02		Date:	10/20/21				

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