

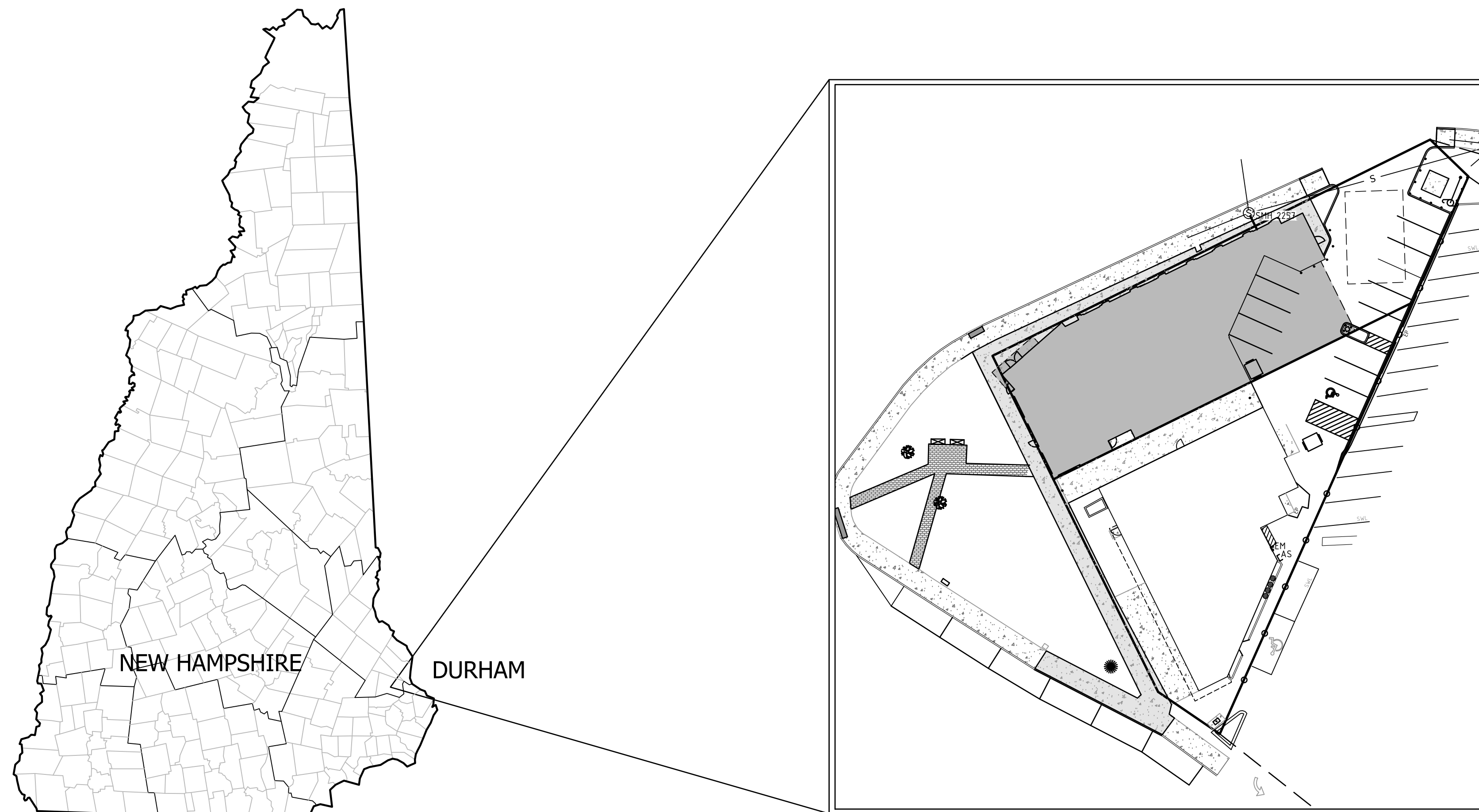
CLARK PROPERTIES, LLC

74 MAIN STREET

DURHAM, NH

SUBMITTED: 3 MARCH 2021

REVISED: 19 JULY 2021



LOCATION PLAN

OWNER:

CLARK PROPERTIES, LLC
28 CEDAR POINT ROAD
DURHAM, NH 03824

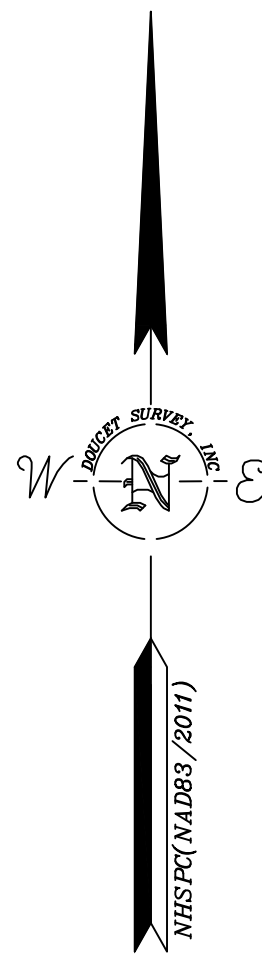
ENGINEER:

horizons
Engineering

5 RAILROAD STREET
NEWMARKET, NH 03857
(603) 444-4111

SURVEYOR:

DOUCET SURVEY, INC.
102 KENT PL
NEWMARKET, NH 03857
(603) 659-6560



LOCATION MAP (n.t.s.)

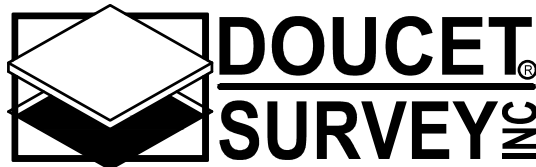
- LEGEND**
- EXISTING LOT LINE
 - PROPOSED LOT LINE
 - CHAIN LINK FENCE
 - OVERHEAD WIRE
 - SEWER LINE
 - DRAIN LINE
 - CONCRETE
 - BRICK
 - UTILITY POLE
 - UTILITY POLE & GUY WIRE
 - SIGN
 - GROUND LIGHT
 - LIGHT POLE W/ARM
 - BOLLARD
 - WATER GATE VALVE
 - HAND HOLE
 - CATCH BASIN
 - IRRIGATION CONTROL VALVE
 - BOUND FOUND
 - IRON ROD/PIPE FOUND
 - 5/8" REBAR OR OTHER SUITABLE MONUMENT TO BE SET
 - IRON PIPE FOUND
 - STEEL STAKE FOUND
 - MAILBOX
 - ACCESSIBLE PARKING SPACE
 - FINISHED FLOOR
 - AUTO SPRINKLER
 - ELECTRIC METER
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - SLOPED BITUMINOUS BERM
 - VERTICAL BITUMINOUS BERM
 - SINGLE WHITE LINE



TOPOGRAPHIC PLAN
FOR
TOWN & CAMPUS, INC.
OF
TAX MAP 2 LOT 14-1
72 MAIN STREET
DURHAM, NEW HAMPSHIRE

1	08/21/18	REVISIONS PER TOWN PLANNER	J.F.K.
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	W.D.C.	DATE:	AUGUST 28, 2018
CHECKED BY:	J.F.K.	DRAWING NO.:	5549B
JOB NO.:	5549	SHEET	1 OF 1



Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6560
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>

- NOTES:**
- REFERENCE: TAX MAP 2, LOT 14-1
 - TOTAL PARCEL AREA: 18,879 SQ. FT. OR 0.433 AC.
 - OWNER OF RECORD: TOWN & CAMPUS, INC.
105 PERKINS ROAD
MADBURY, NH 03823
S.C.R.D. BOOK 838, PAGE 056
 - ZONE: CB
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA N/A
MIN. FRONTAGE 50 ft.
MIN. FRONT SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
MIN. SIDE/REAR SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
- ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE DATED 4/16/18 AS AVAILABLE ON THE TOWN WEBSITE ON 5/25/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
- FIELD SURVEY PERFORMED BY J.P.E. & P.J.M. DURING MAY 2018 USING A TRIMBLE S7 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 - VERTICAL DATUM IS BASED ON NAVD88 PER DISK "UNH 13".
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- THE INTENT OF THIS PLAN IS ALSO TO SUBDIVIDE THE EXISTING TAX MAP 2, LOT 14-1 INTO TWO PARCELS OF APPROXIMATELY EQUAL SQUARE FOOTAGE.
- ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
 - THE BUILDINGS ON THE PARCEL ARE SERVICED BY MUNICIPAL WATER AND SEWER. THE SEWER IS BELIEVED TO BE SERVICED FROM PETTEE BROOK LANE AS INDICATED HEREON. THE WATER IS BELIEVED TO BE SERVICED FROM MAIN STREET. THE EXACT LOCATIONS OF THE SERVICES WAS NOT OBSERVED DURING THE SURVEY. FURTHERMORE THE TOWN ENGINEERING DEPARTMENT DID NOT HAVE THIS INFORMATION AVAILABLE.
 - FOR MORE INFORMATION ABOUT THIS SUBDIVISION, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM, NH. (603) 868-8064.

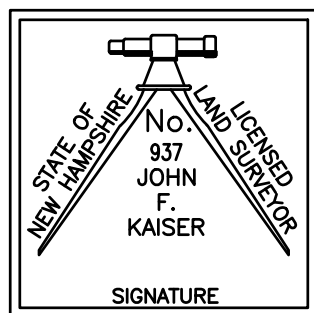
REFERENCE PLANS:

- "BOUNDARY LINE ADJUSTMENT MAIN ST. & PETTEE BROOK RD. DURHAM, STRAFFORD COUNTY, NEW HAMPSHIRE, BETWEEN TOWN & CAMPUS, INC. & TOWN OF DURHAM" DATED APRIL 16, 1987 BY THOMAS F. MORAN INC. S.C.R.D. PLAN 28A-118.
- "BOUNDARY LINE ADJUSTMENT PLAN GAMMA THETA CORP., MAIN STREET DURHAM, N.H." DATED 12-15-03 WITH A REVISION DATE OF 1-9-04 BY CAMMETT ENGINEERING. S.C.R.D. PLAN 74-56.

EASEMENT NOTES:

TAX MAP 2, LOT 14-1 IS EITHER SUBJECT TO, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:

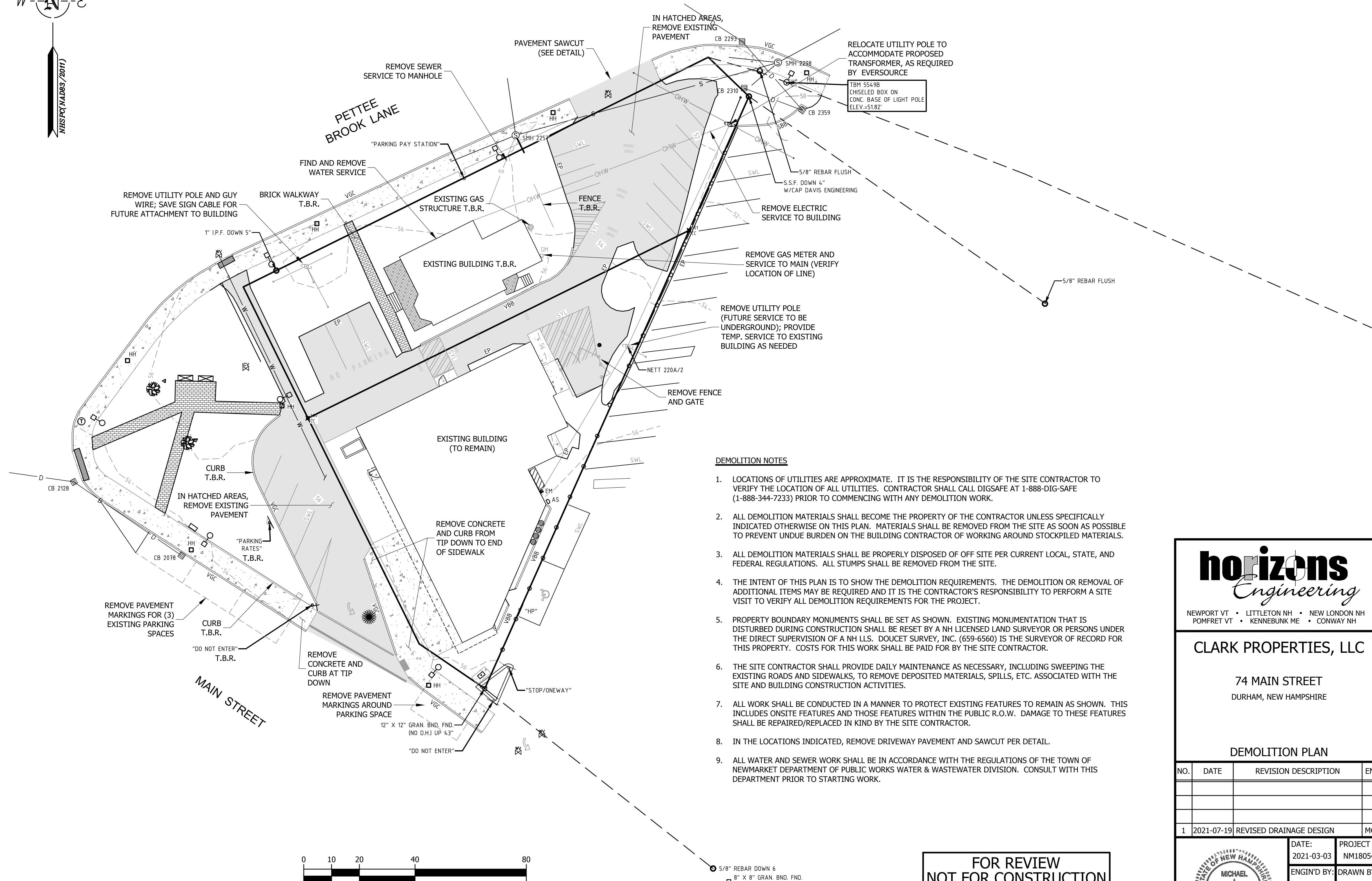
- RIGHTS GRANTED TO NET&T FROM TOWN & CAMPUS, INC. TO ABANDON UNDERGROUND CABLES ON THE PREMISES. SAID RIGHTS DO NOT ALLOW GRANTEE TO PLACE ADDITIONAL CABLE ON THE PREMISES. EASEMENT RECORDED IN S.C.R.D. BOOK 1061, PAGE 652.
- NO RECORDED EASEMENT WAS FOUND FOR THE EXISTING POLES AND ANCHORS ON THE PREMISES.
- EXISTING PARKING SPACES ARE SHOWN ON THIS PLAN BOTH AT THE FRONT OF THE NEW NORTHERLY LOT AND IN THE TOWN'S PROPERTY NEAR MAIN STREET. IT IS UNDERSTOOD THAT NO EASEMENT TO PROVIDE ACCESS TO THESE SPACES IS BEING ESTABLISHED AS PART OF THIS SUBDIVISION.
- EASEMENTS ARE TO BE RECORDED HEREWITH TO DEFINE ITEMS INCLUDING BUT NOT LIMITED TO PARKING, ACCESS, UTILITIES AND MAINTENANCE.



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

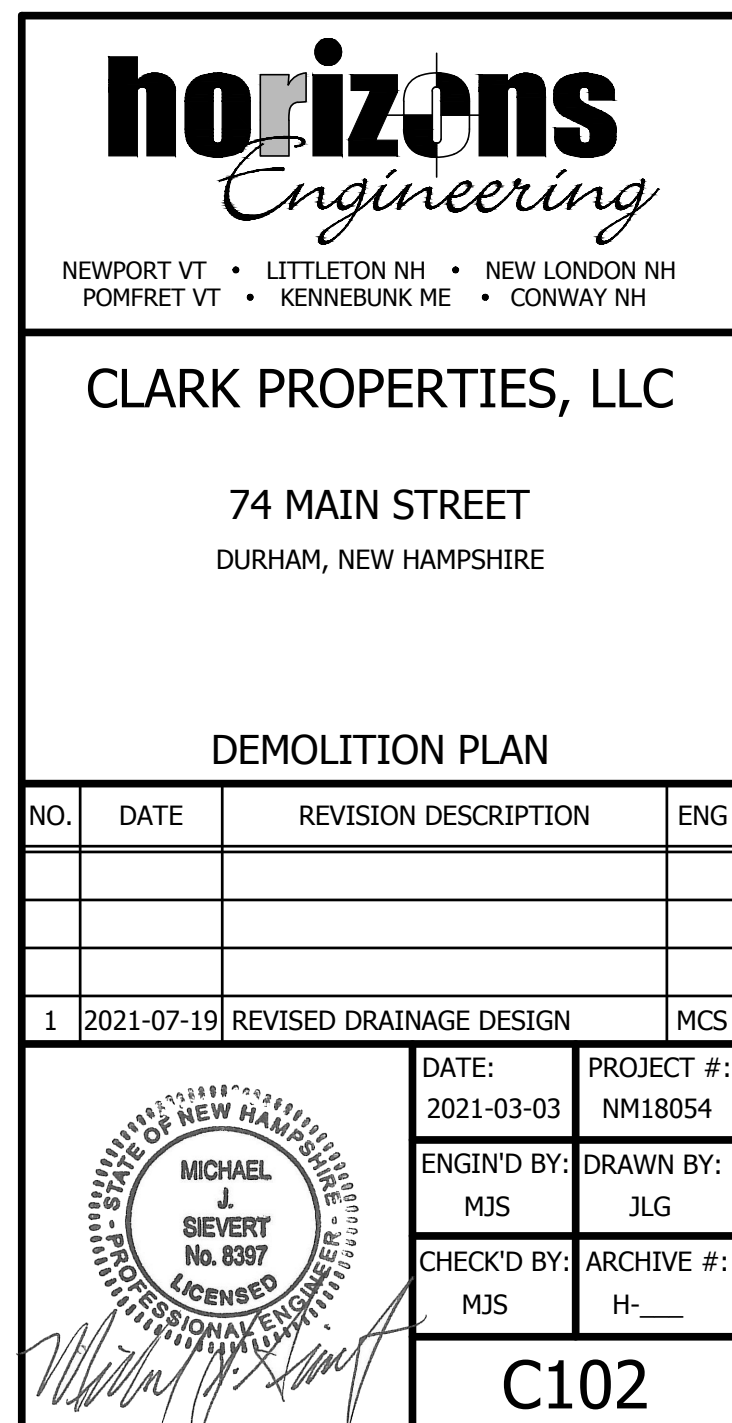
_____.L.L.S. #937
_____.DATE

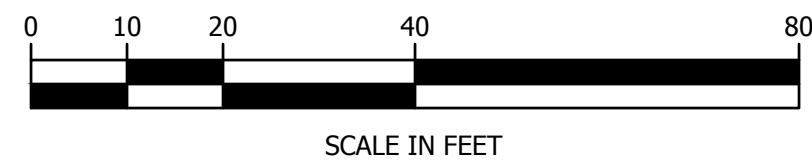
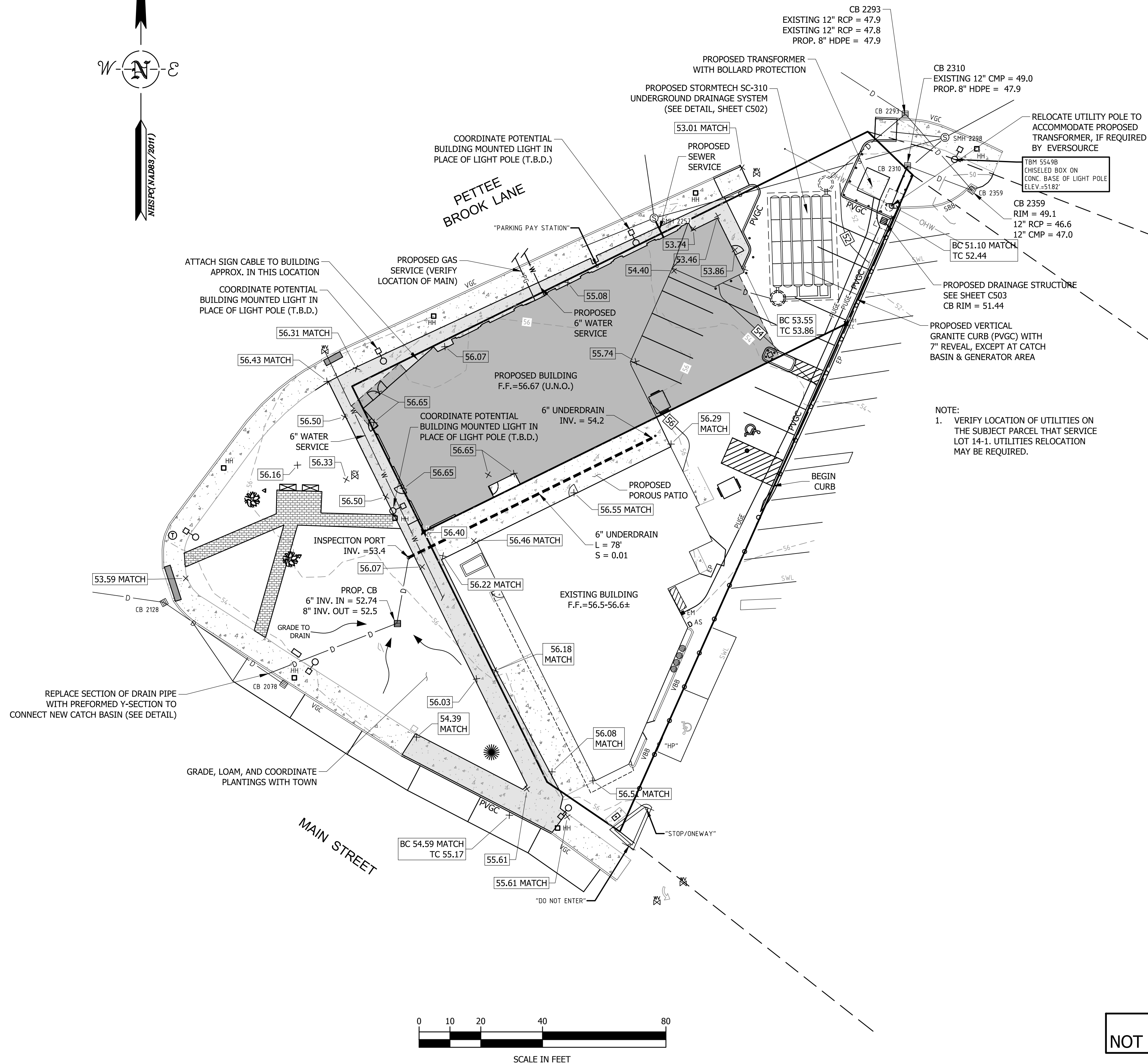
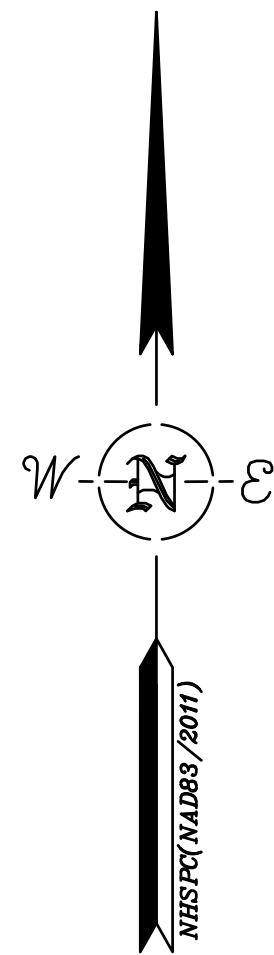
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



1. LOCATIONS OF UTILITIES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES. CONTRACTOR SHALL CALL DIGSAFE AT 1-888-DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING WITH ANY DEMOLITION WORK.
2. ALL DEMOLITION MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFICALLY INDICATED OTHERWISE ON THIS PLAN. MATERIALS SHALL BE REMOVED FROM THE SITE AS SOON AS POSSIBLE TO PREVENT UNDUE BURDEN ON THE BUILDING CONTRACTOR OF WORKING AROUND STOCKPILED MATERIALS.
3. ALL DEMOLITION MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE PER CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS. ALL STUMPS SHALL BE REMOVED FROM THE SITE.
4. THE INTENT OF THIS PLAN IS TO SHOW THE DEMOLITION REQUIREMENTS. THE DEMOLITION OR REMOVAL OF ADDITIONAL ITEMS MAY BE REQUIRED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM A SITE VISIT TO VERIFY ALL DEMOLITION REQUIREMENTS FOR THE PROJECT.
5. PROPERTY BOUNDARY MONUMENTS SHALL BE SET AS SHOWN. EXISTING MONUMENTATION THAT IS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NH LICENSED LAND SURVEYOR OR PERSONS UNDER THE DIRECT SUPERVISION OF A NH LLS. DOUCET SURVEY, INC. (659-6560) IS THE SURVEYOR OF RECORD FOR THIS PROPERTY. COSTS FOR THIS WORK SHALL BE PAID FOR BY THE SITE CONTRACTOR.
6. THE SITE CONTRACTOR SHALL PROVIDE DAILY MAINTENANCE AS NECESSARY, INCLUDING SWEEPING THE EXISTING ROADS AND SIDEWALKS, TO REMOVE DEPOSITED MATERIALS, SPILLS, ETC. ASSOCIATED WITH THE SITE AND BUILDING CONSTRUCTION ACTIVITIES.
7. ALL WORK SHALL BE CONDUCTED IN A MANNER TO PROTECT EXISTING FEATURES TO REMAIN AS SHOWN. THIS INCLUDES ONSITE FEATURES AND THOSE FEATURES WITHIN THE PUBLIC R.O.W. DAMAGE TO THESE FEATURES SHALL BE REPAIRED/REPLACED IN KIND BY THE SITE CONTRACTOR.
8. IN THE LOCATIONS INDICATED, REMOVE DRIVEWAY PAVEMENT AND SAWCUT PER DETAIL.
9. ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE REGULATIONS OF THE TOWN OF NEWMARKET DEPARTMENT OF PUBLIC WORKS WATER & WASTEWATER DIVISION. CONSULT WITH THIS DEPARTMENT PRIOR TO STARTING WORK.

DATE OF PRINT
20 JULY 2021
HORIZONS ENGINEERING





FOR REVIEW
NOT FOR CONSTRUCTION

DATE OF PRINT
20 JULY 2021
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POMFRET VT • KENNEBUNK ME • CONWAY NH

CLARK PROPERTIES, LLC

74 MAIN STREET
DURHAM, NEW HAMPSHIRE

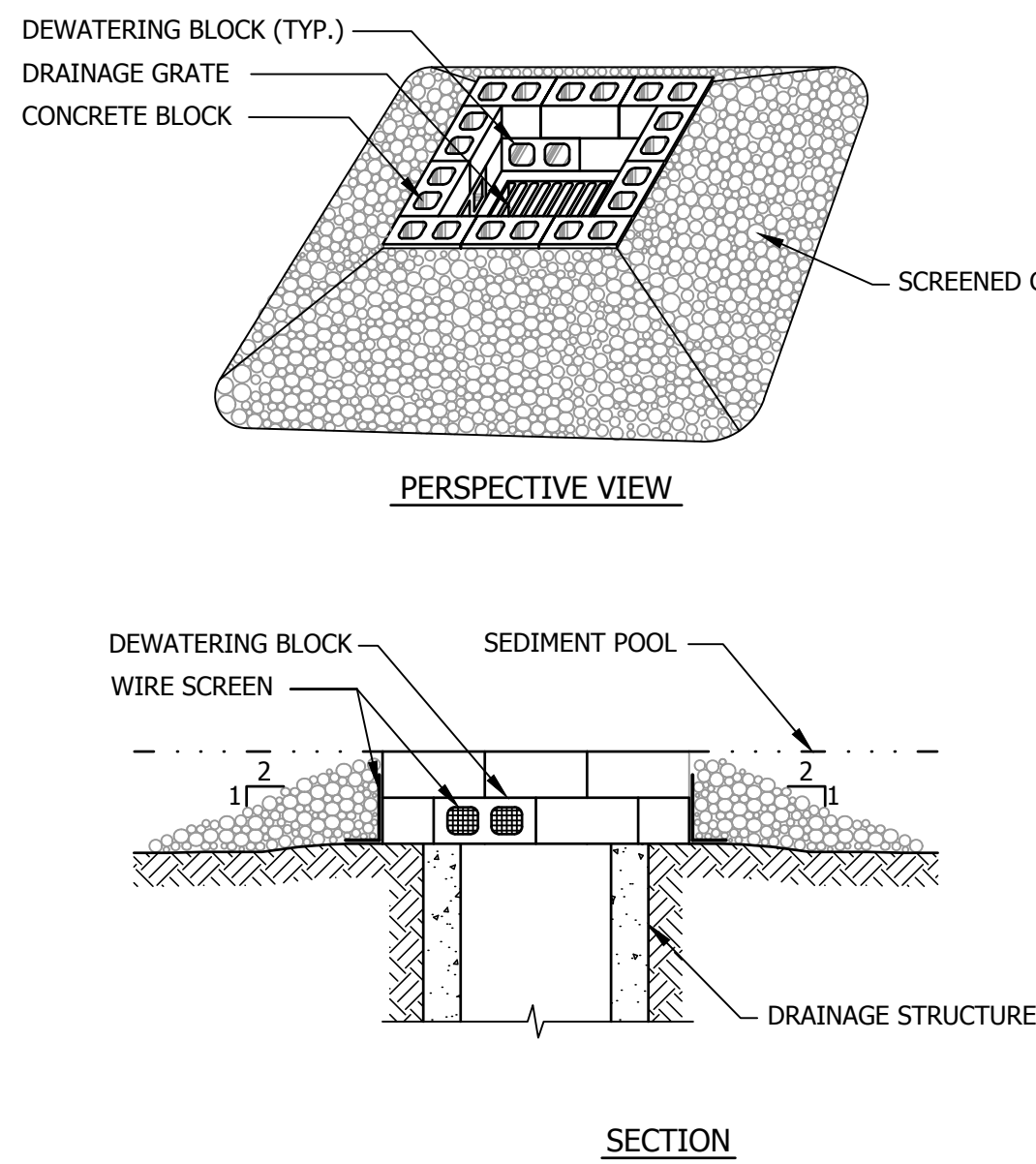
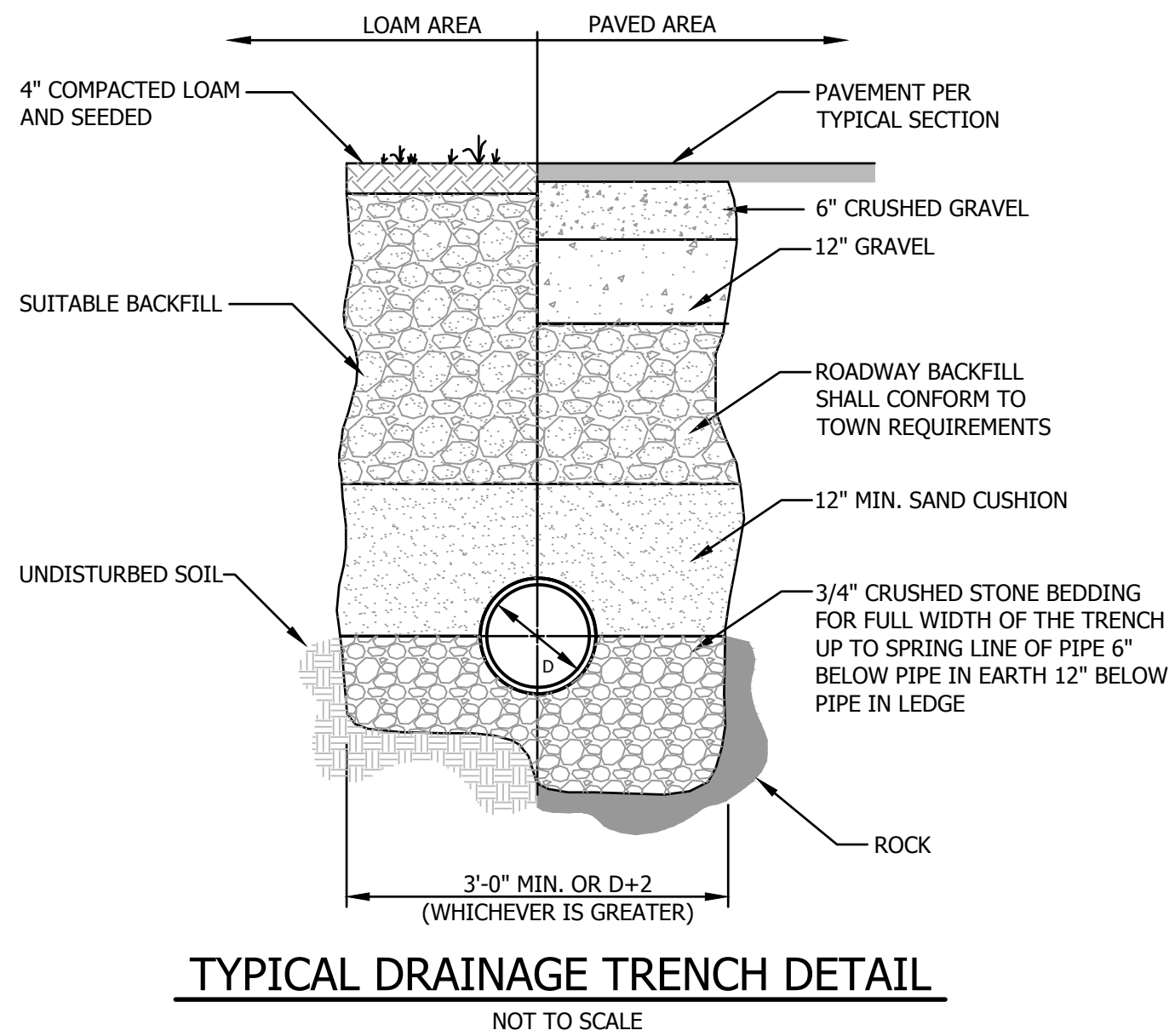
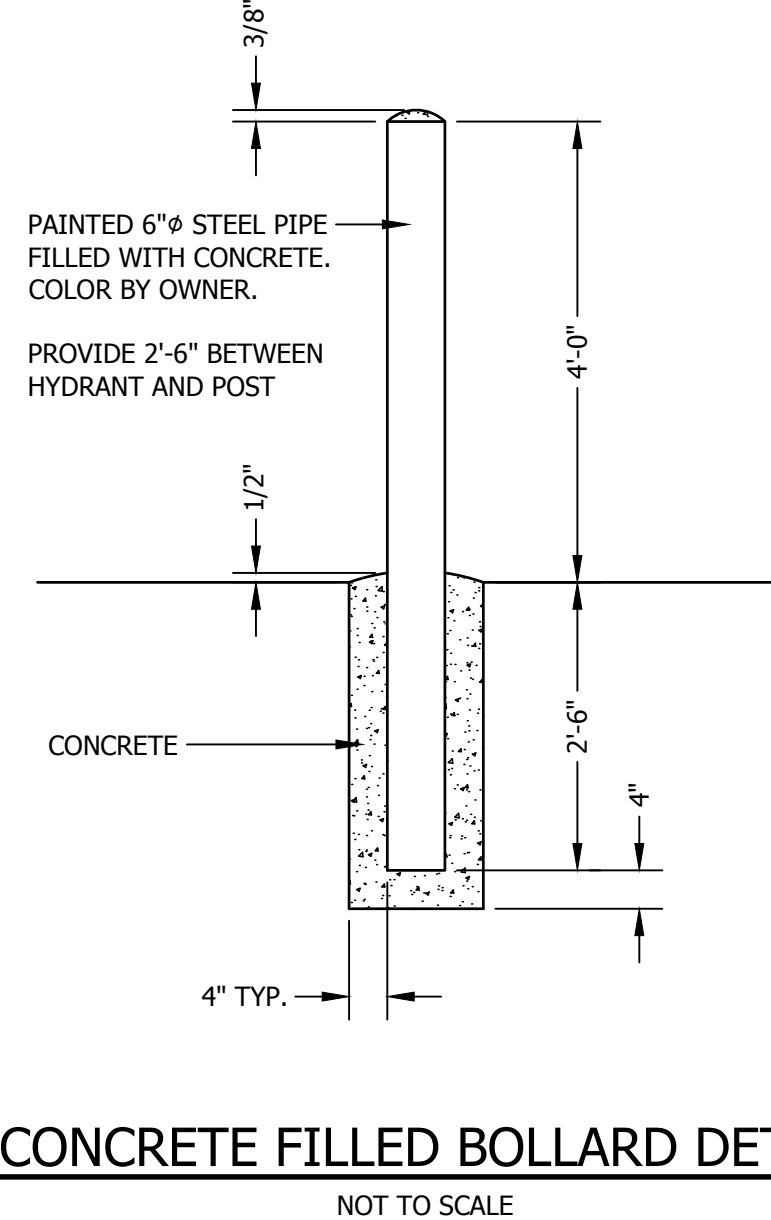
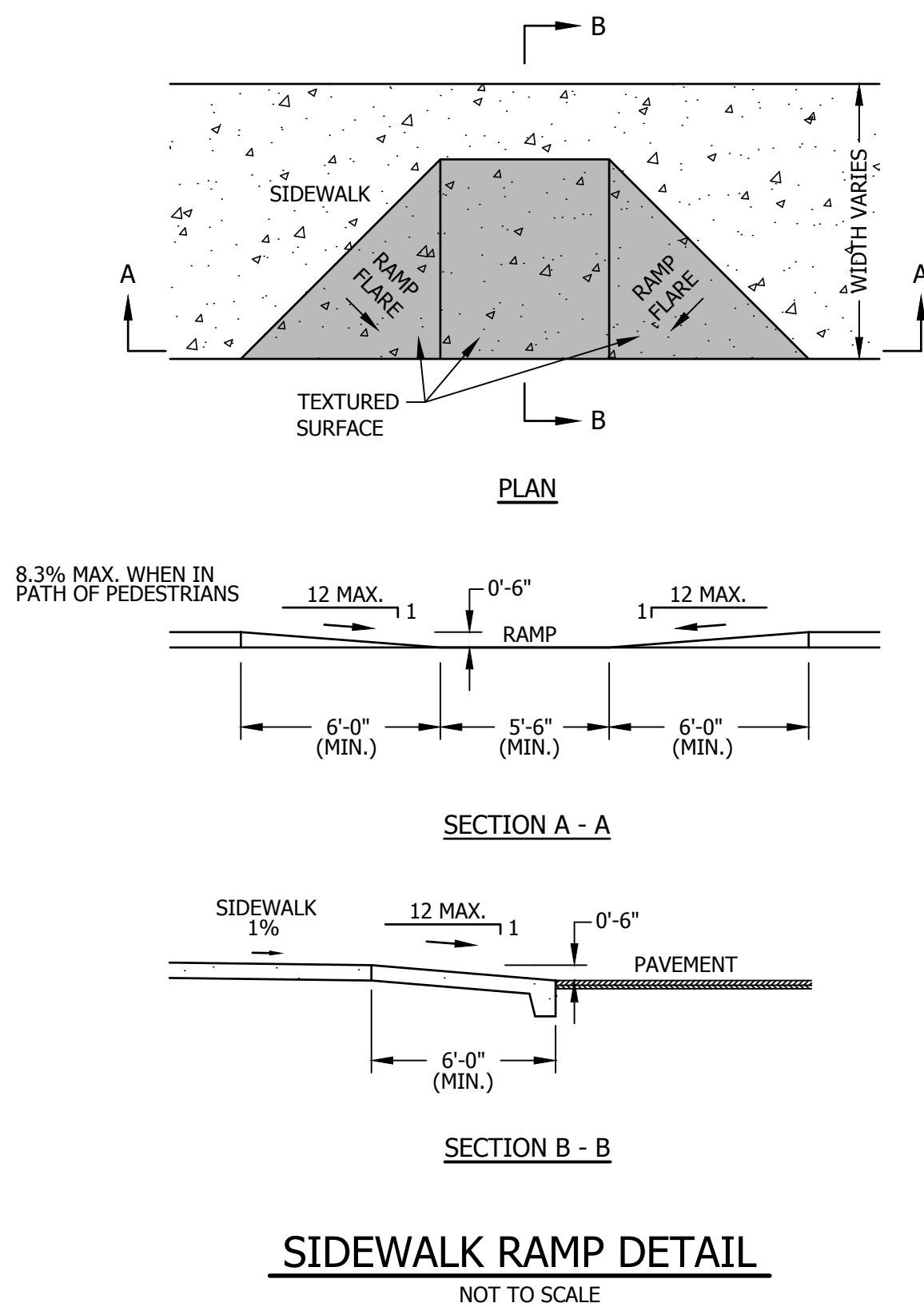
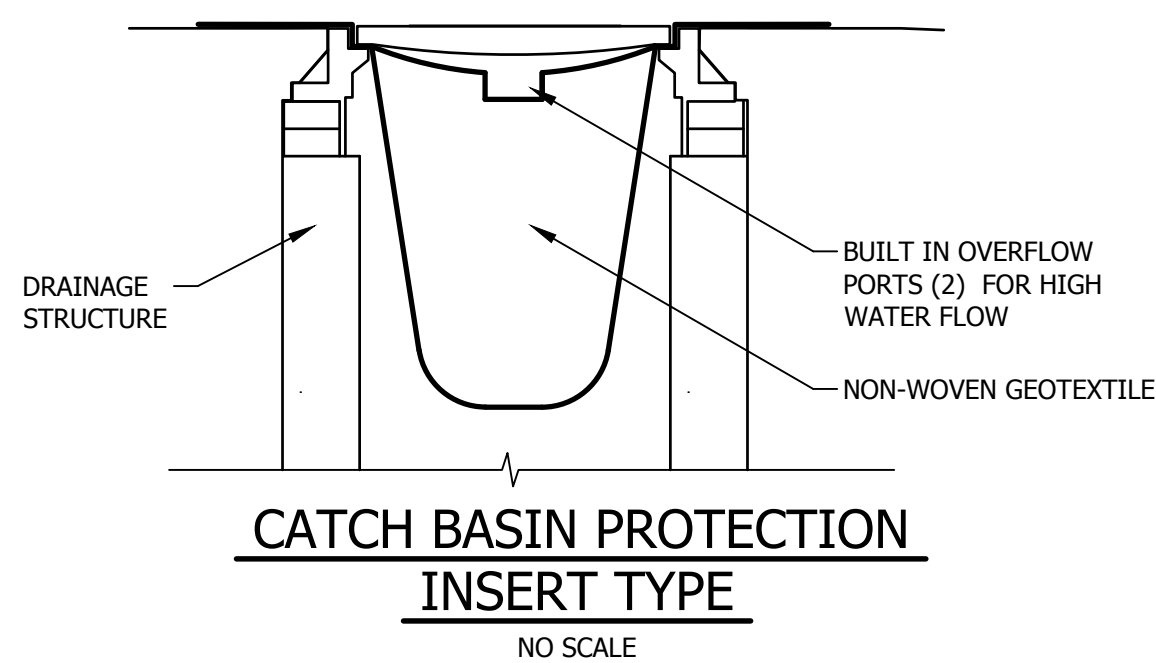
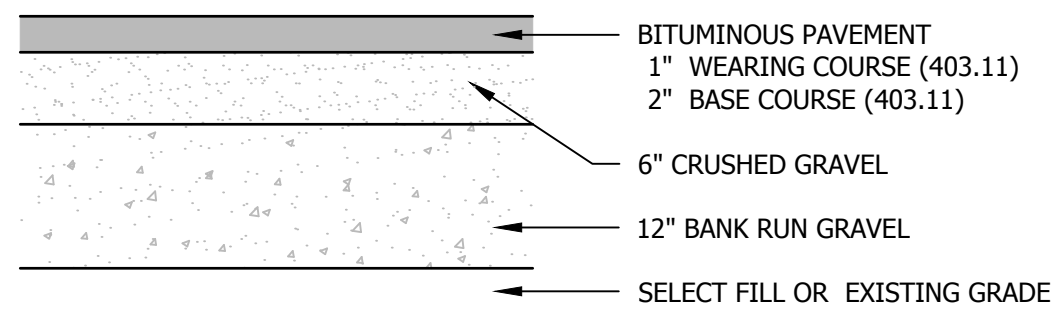
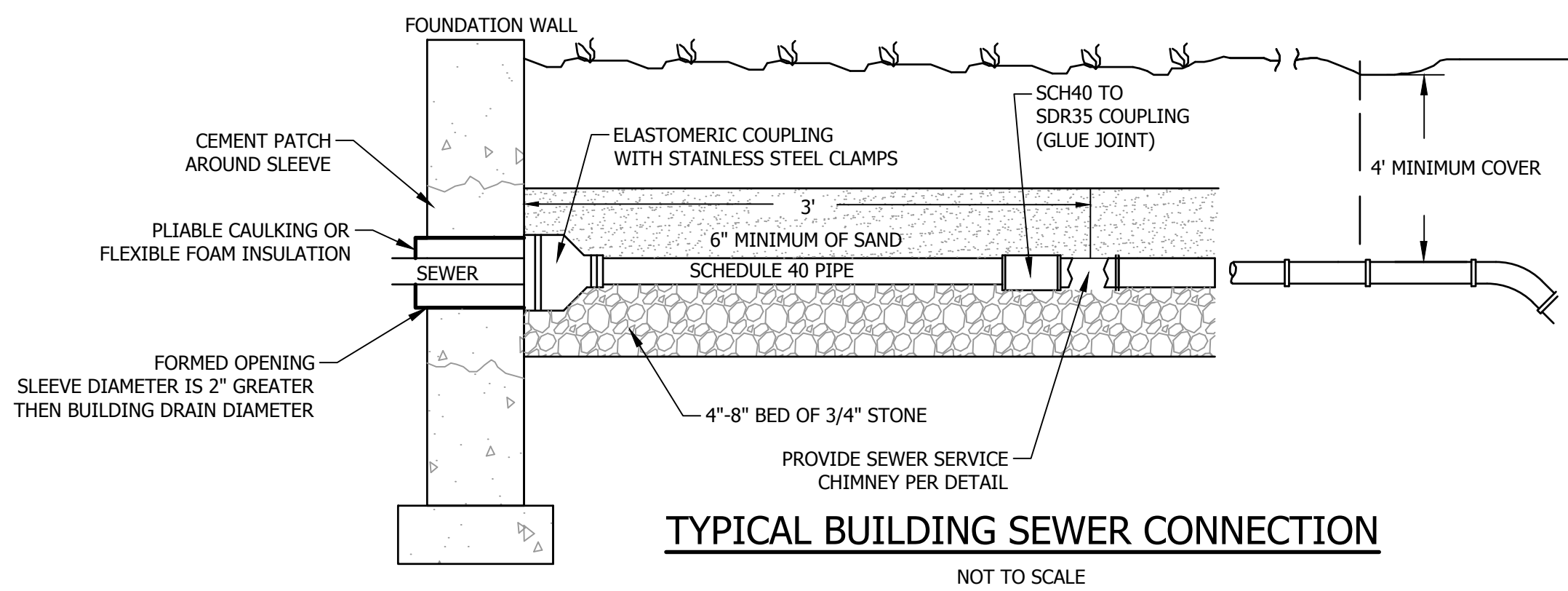
GRADING, DRAINAGE,
AND UTILITIES PLAN

NO.	DATE	REVISION DESCRIPTION	ENG
1	2021-07-19	REVISED DRAINAGE DESIGN	MCS

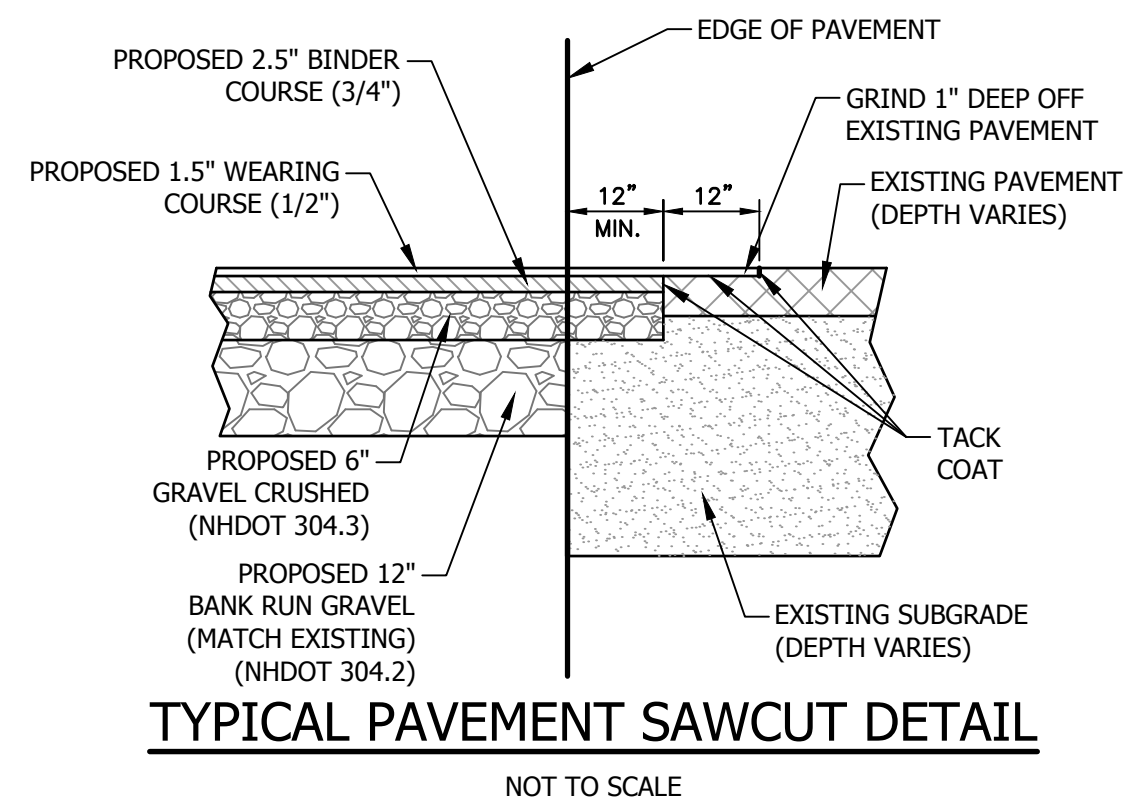
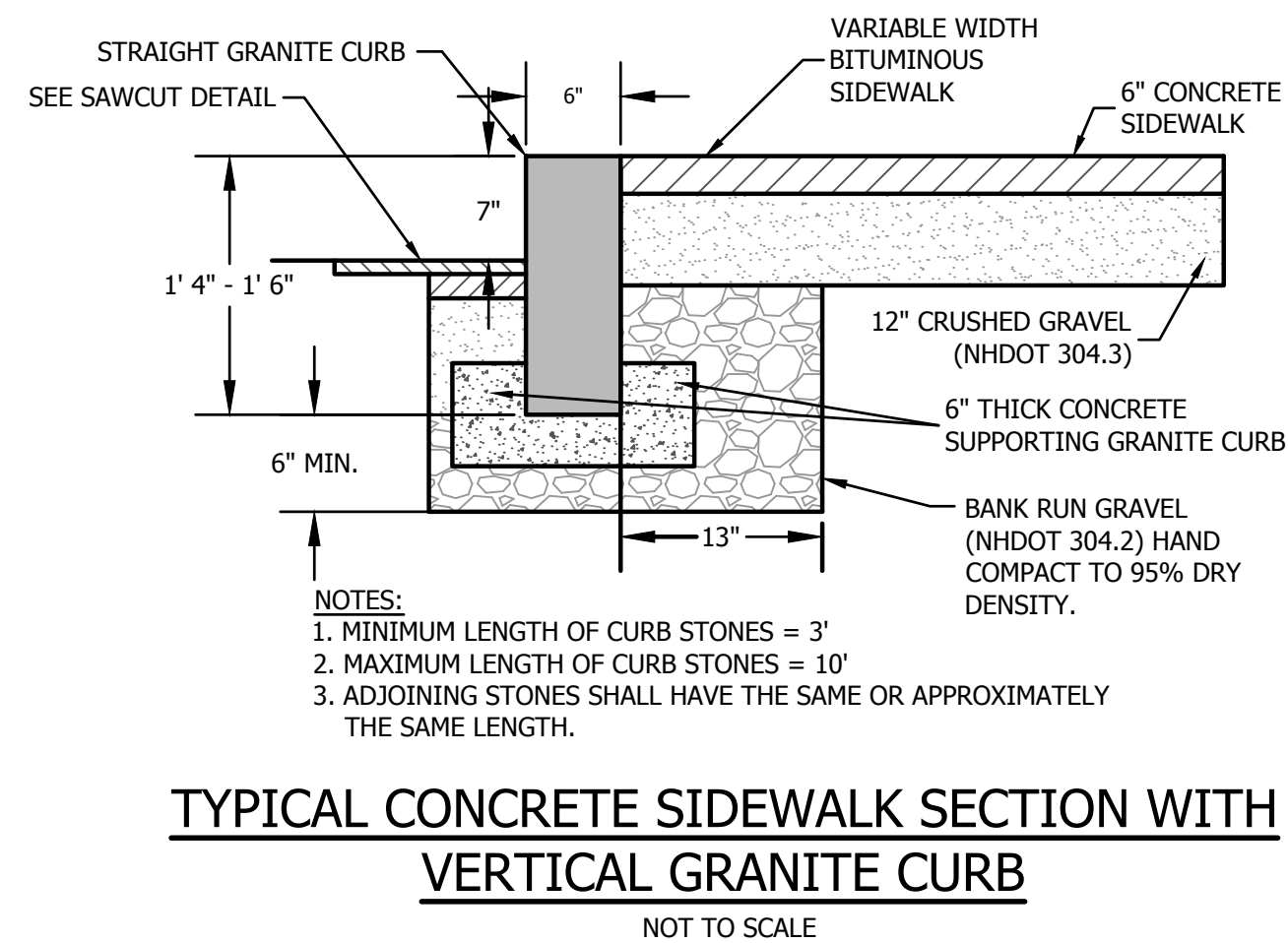
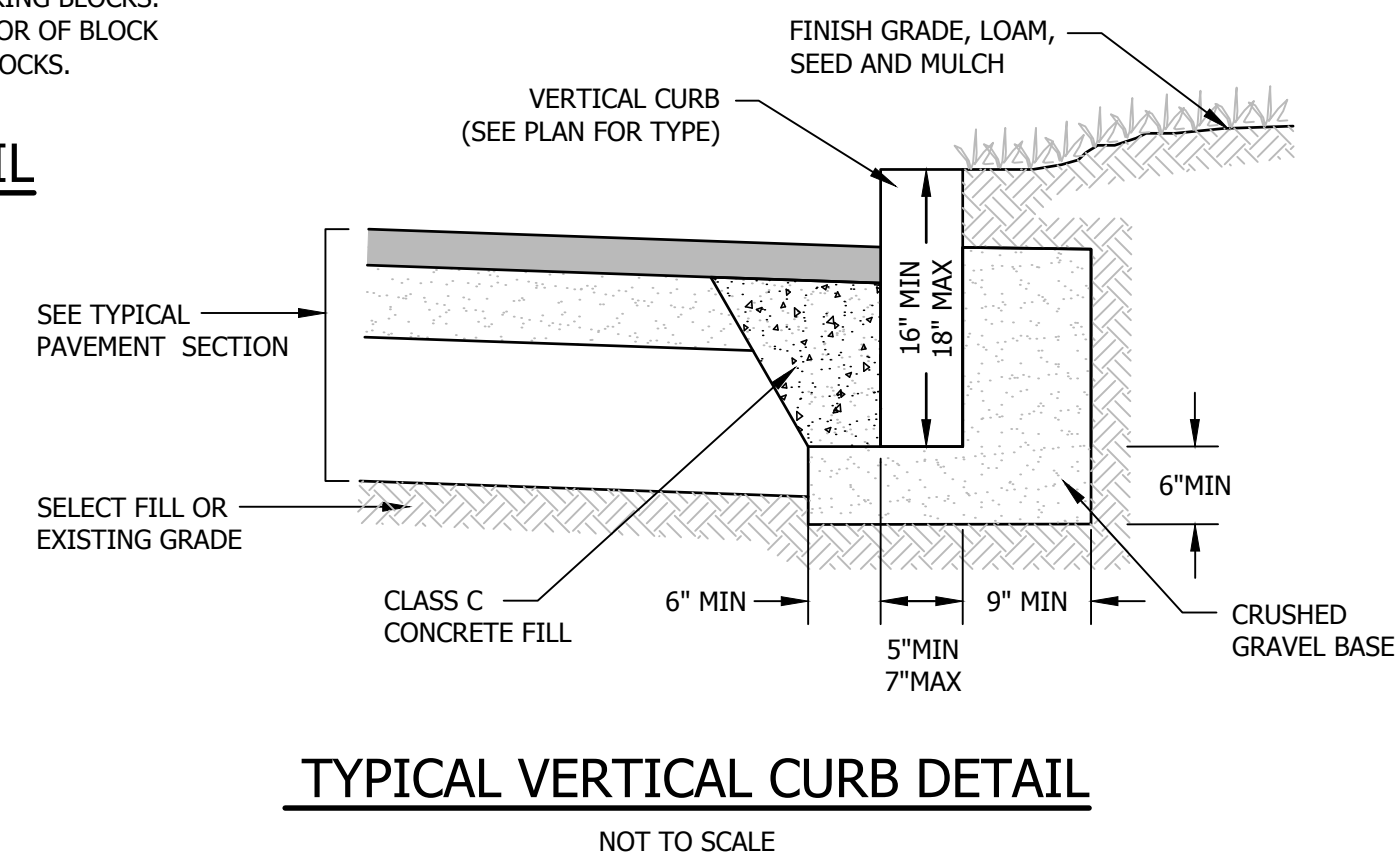
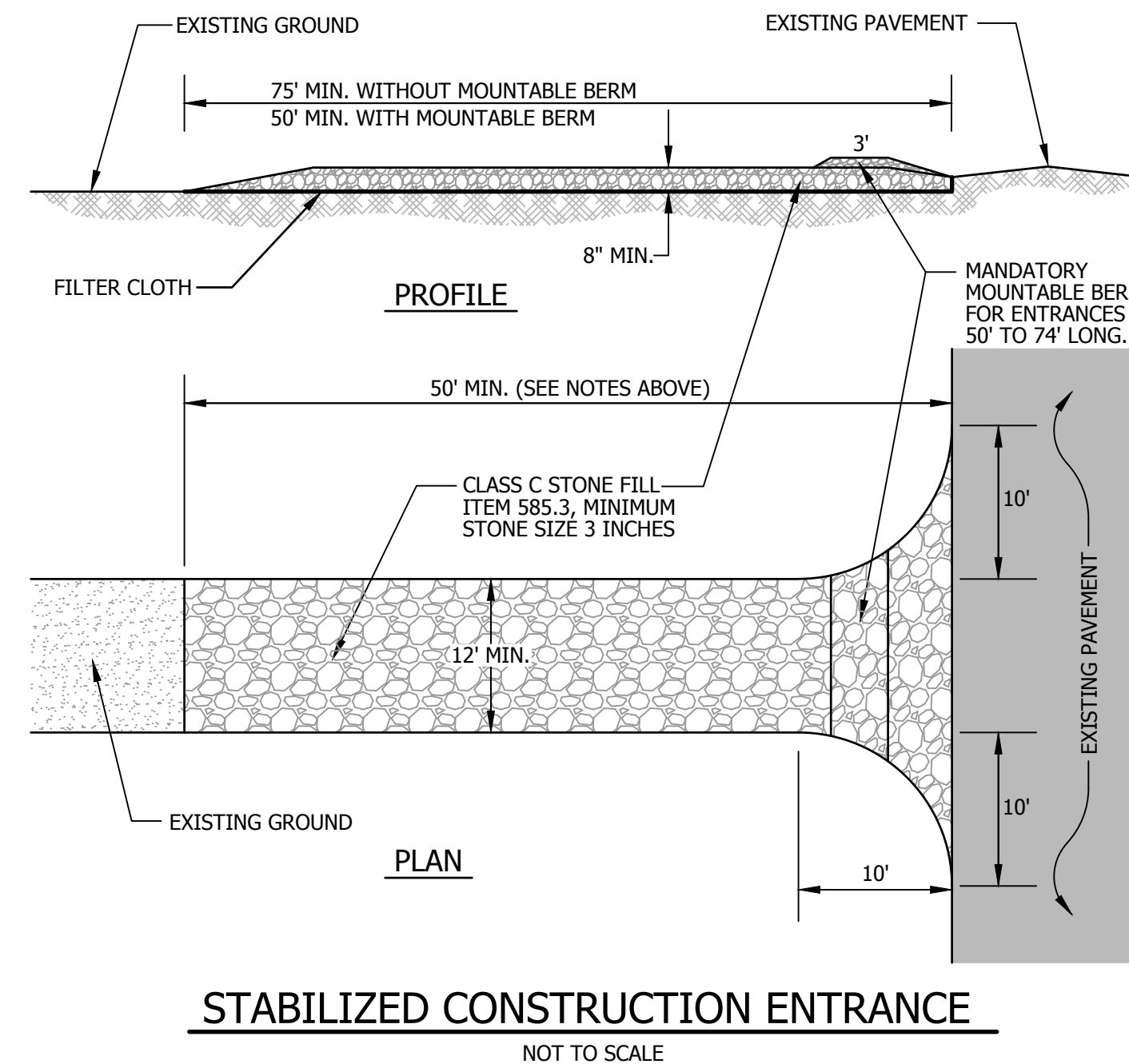
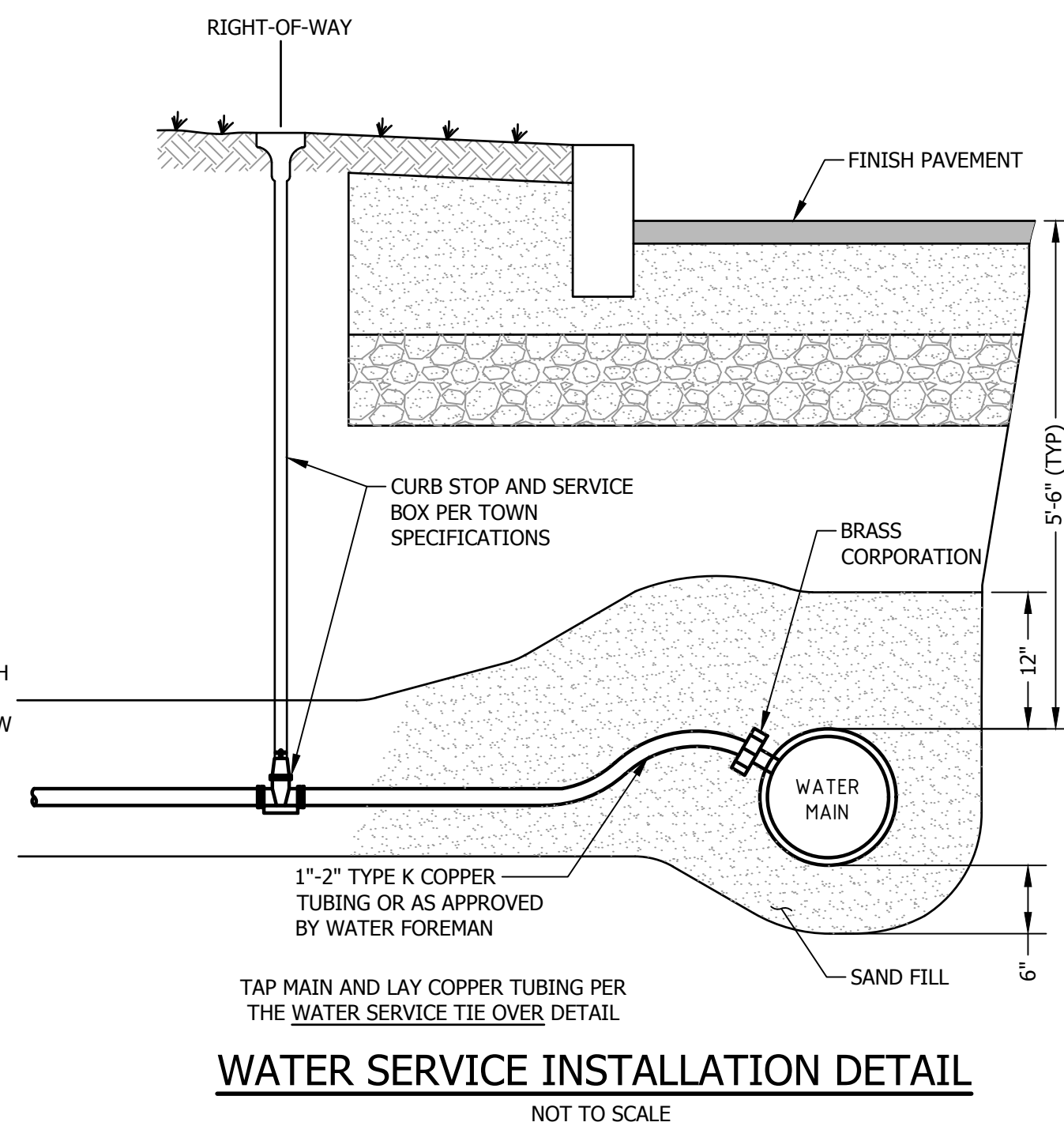
DATE: 2021-03-03	PROJECT #: NM18054
ENGINE'D BY: MJS	DRAWN BY: JLG
CHECK'D BY: MJS	ARCHIVE #: H-__

C103

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NOT FOR CONSTRUCTION



- MATERIALS SPECIFICATIONS:**
1. CONCRETE BLOCKS: HOLLOW LOAD BEARING CONCRETE MASONRY UNITS, 8" x 8" x 16" DIMENSION.
 2. WIRE SCREEN: HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENINGS.
 3. SCREENED GRAVEL: UNIFORMLY GRADED 3/8" TO 1-1/2" DIA. STONE.
- CONSTRUCTION SPECIFICATIONS:**
1. INSTALL BLOCK AND GRAVEL INLET PROTECTION WHERE INDICATED OR WARRANTED.
 2. EXCAVATE FOUNDATION 2" BELOW RIM OF STORM DRAIN.
 3. PLACE BOTTOM ROW OF BLOCKS AGAINST EDGE OF STORM DRAIN WITH ONE BLOCK ON EACH SIDE OF THE ROW BEING LAID ON ITS SIDE. PLACE TOP ROW OF BLOCKS.
 4. INSTALL WIRE SCREEN OVER ALL DEWATERING BLOCKS.
 5. PLACE SCREENED GRAVEL AROUND EXTERIOR OF BLOCK BARRIER TO 1" BELOW THE TOP OF THE BLOCKS.



- PAVEMENT SAWCUT NOTES:**
1. SAWCUT THROUGH DEPTH OF PAVEMENT AT LEAST 1 FT. FROM EDGE OR GREATER IF REQUIRED BY NHDOT.
 2. INSTALL AND COMPACT CRUSHED GRAVEL TO GRADE.
 3. PLACE BINDER COURSE.
 4. GRIND EXISTING PAVEMENT 1 FT. WIDE TO A DEPTH NECESSARY TO PROPERLY MATCH NEW WEARING COURSE PAVEMENT.
 5. TACK COAT ALL EXISTING PAVEMENT SURFACES WITH EMULSIFIED ASPHALT (MS-1) PRIOR TO PLACING NEW PAVEMENT.

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CLARK PROPERTIES, LLC

74 MAIN STREET
DURHAM, NH

CONSTRUCTION DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG
1	2021-07-19	REVISED DRAINAGE DESIGN	MCS
DATE: 2021-03-03		PROJECT #: NM18054	
ENGINE'D BY: MJS		DRAWN BY: MCS	
CHECK'D BY: MJS		ARCHIVE #: H-	
		C501	

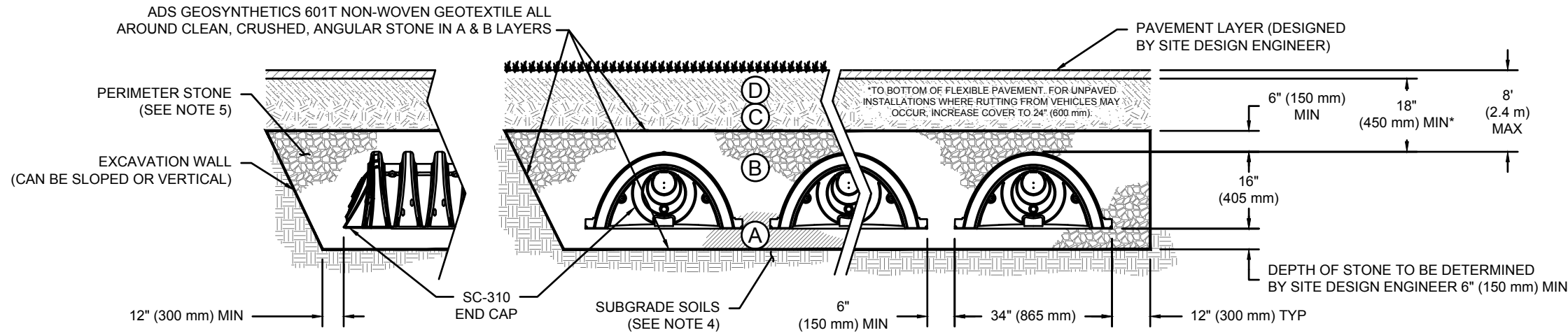
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ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

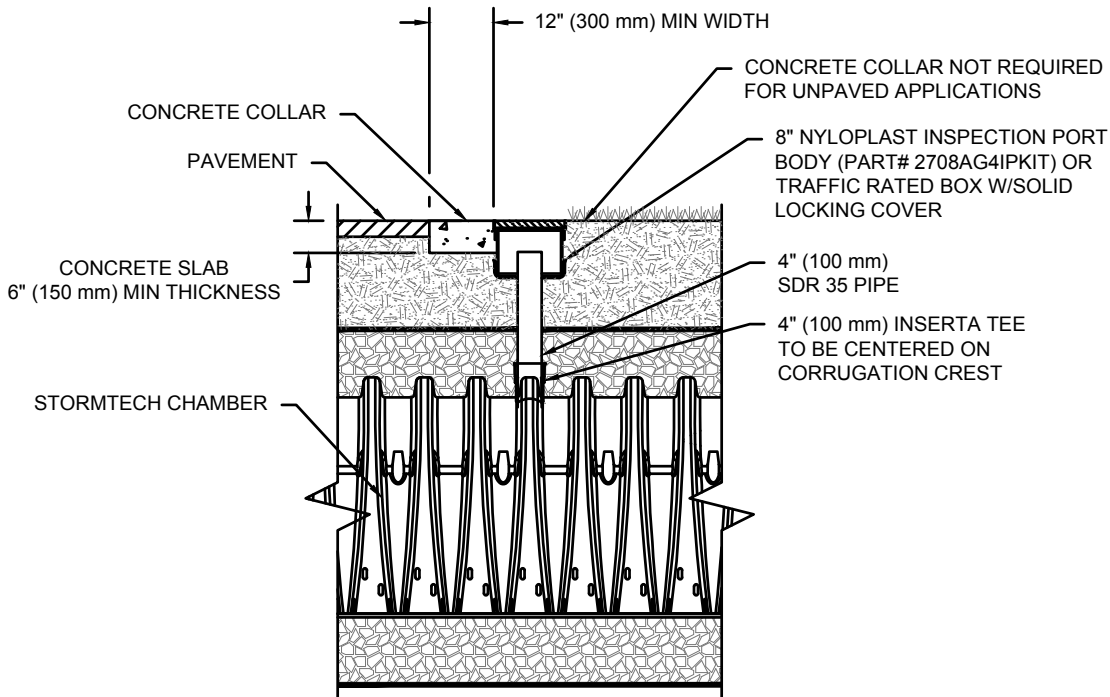
PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN² AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



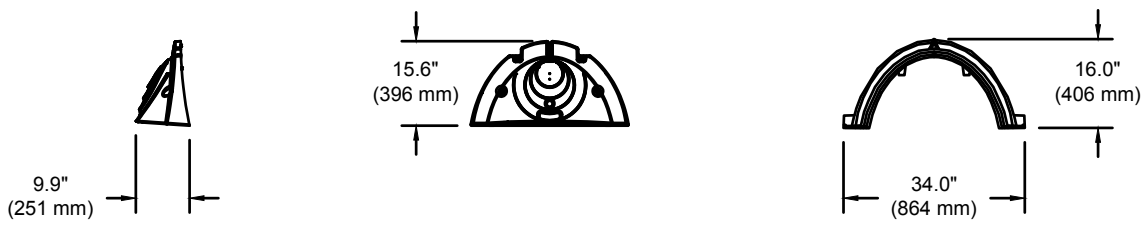
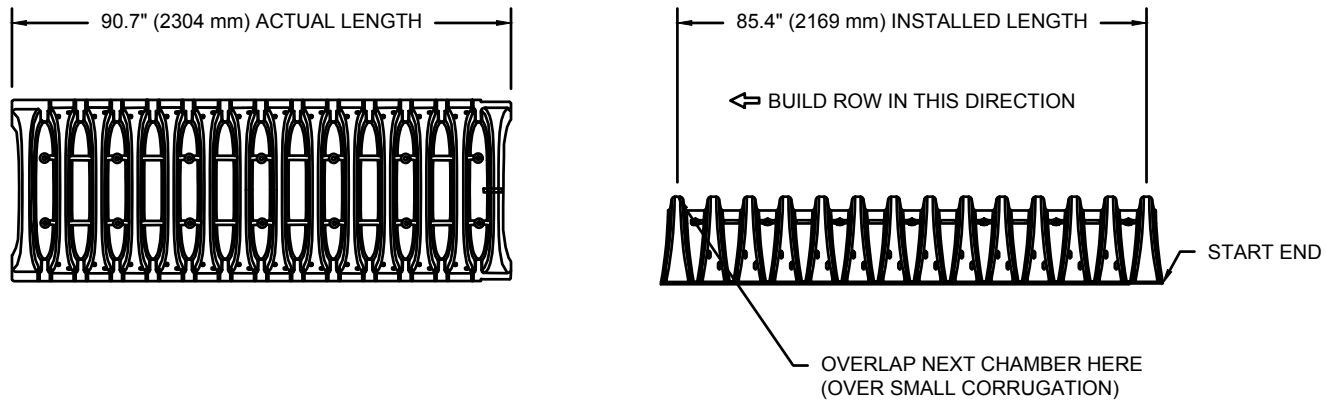
4" PVC INSPECTION PORT DETAIL
(SC SERIES CHAMBER)

NTS

NOTE:
INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

SC-310 TECHNICAL SPECIFICATION

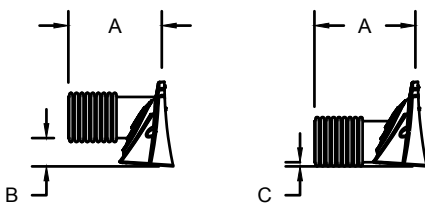
NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	34.0" X 16.0" X 85.4"	(864 mm X 406 mm X 2169 mm)
CHAMBER STORAGE	14.7 CUBIC FEET	(0.42 m ³)
MINIMUM INSTALLED STORAGE*	31.0 CUBIC FEET	(0.88 m ³)
WEIGHT	35.0 lbs.	(16.8 kg)

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS



PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR"
PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
PRE-CORED END CAPS END WITH "PC"

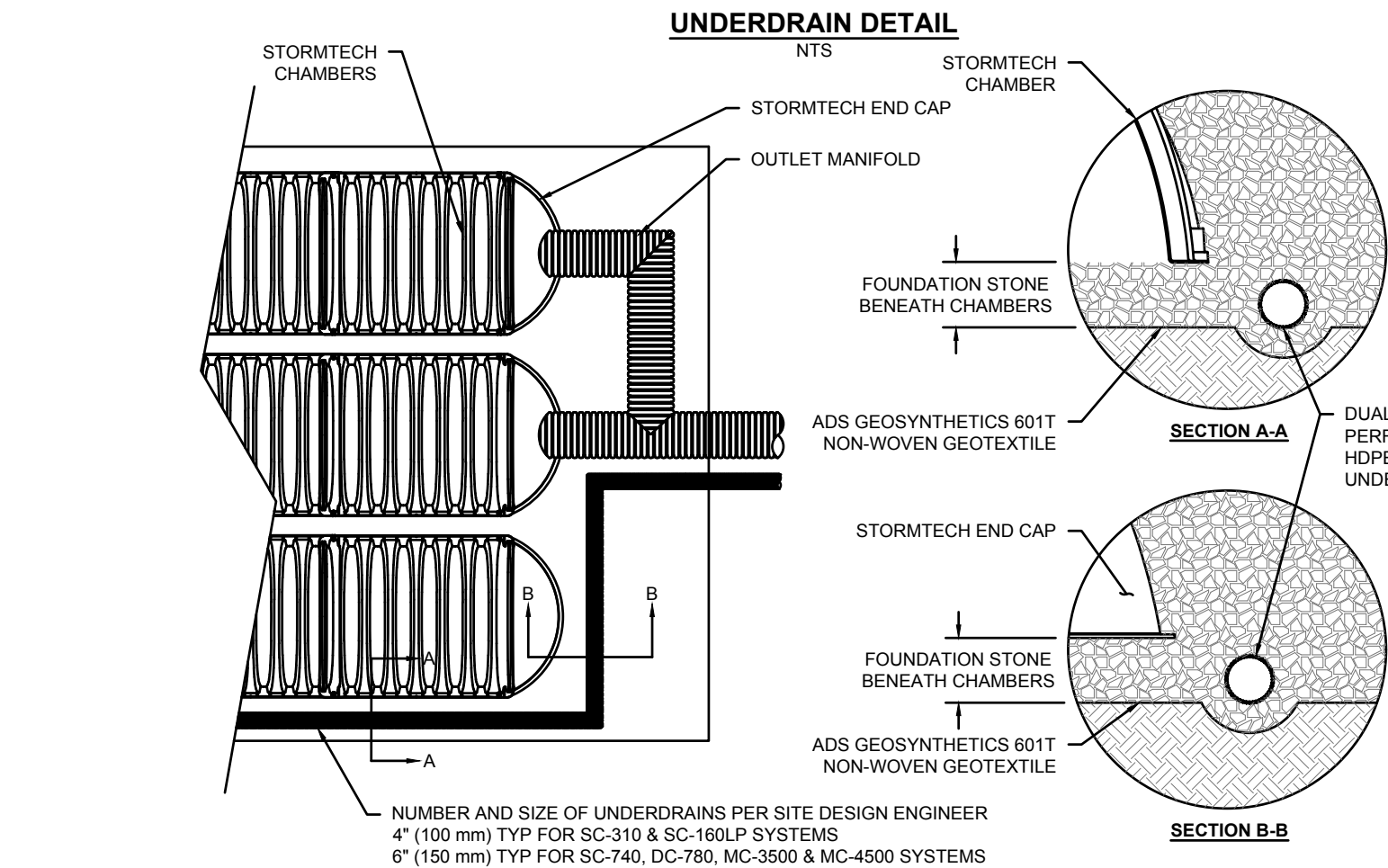
PART #	STUB	A	B	C
SC310EPE06T / SC310EPE06TPC	6" (150 mm)	9.6" (244 mm)	5.8" (147 mm)	---
SC310EPE08B / SC310EPE08BPC	8" (200 mm)	11.9" (302 mm)	3.5" (89 mm)	0.5" (13 mm)
SC310EPE08T / SC310EPE08TPC	8" (200 mm)	11.9" (302 mm)	---	0.6" (15 mm)
SC310EPE08B / SC310EPE08BPC	8" (200 mm)	11.9" (302 mm)	1.4" (36 mm)	---
SC310EPE10T / SC310EPE10TPC	10" (250 mm)	12.7" (323 mm)	---	0.7" (18 mm)
SC310EPE10B / SC310EPE10BPC	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)
SC310EPE12B	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)
SC310EPE12BR	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)

ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC310EPE12B THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

PROPOSED LAYOUT	PROPOSED ELEVATIONS	PART TYPE	ITEM ON LAYOUT	DESCRIPTION	INVERT	MAX FLOW
12	STORMTECH SC-310 CHAMBERS	MANIFOLD	A	8" x 8" BOTTOM MANIFOLD, MOLDED FITTINGS	0.60"	2.5 CFS IN
8	STORMTECH SC-310 END CAPS	DRAINAGE MANHOLE (INLET)	B	48" DIAMETER (24.00" SUMP MIN)		0.7 CFS OUT
6	STONE ABOVE (in)	DRAINAGE MANHOLE (OUTLET)	C	30" DIAMETER (DESIGN BY ENGINEER)		
6	STONE BELOW (in)	UNDERDRAIN	D	6" ADS N-12 DUAL WALL PERFORATED HDPE UNDERDRAIN		
40	STONE VOID	INSPECTION PORT	E	SEE STORMTECH INSPECTION PORT DETAIL		
505	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)					
427	SYSTEM AREA (SF)					
86.3	SYSTEM PERIMETER (ft)					



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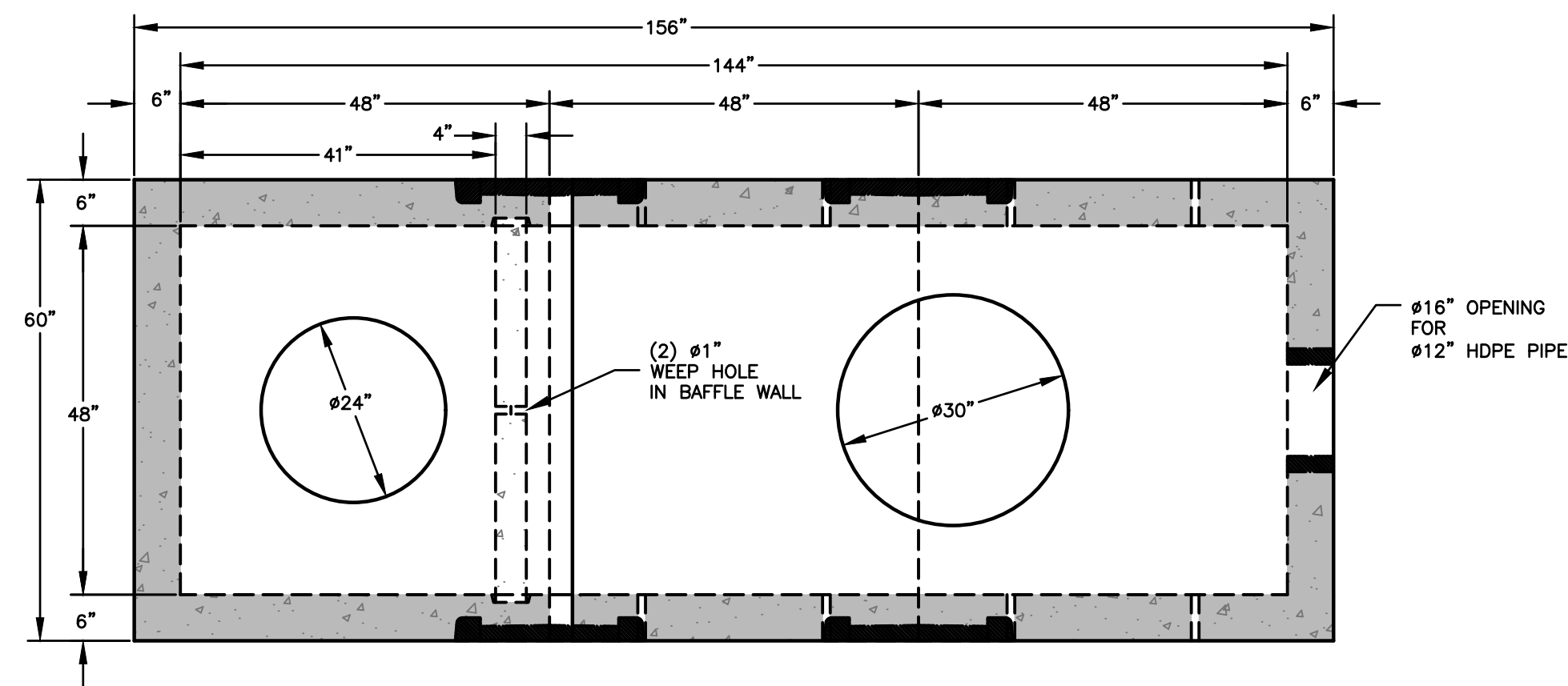
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DURHAM, NH

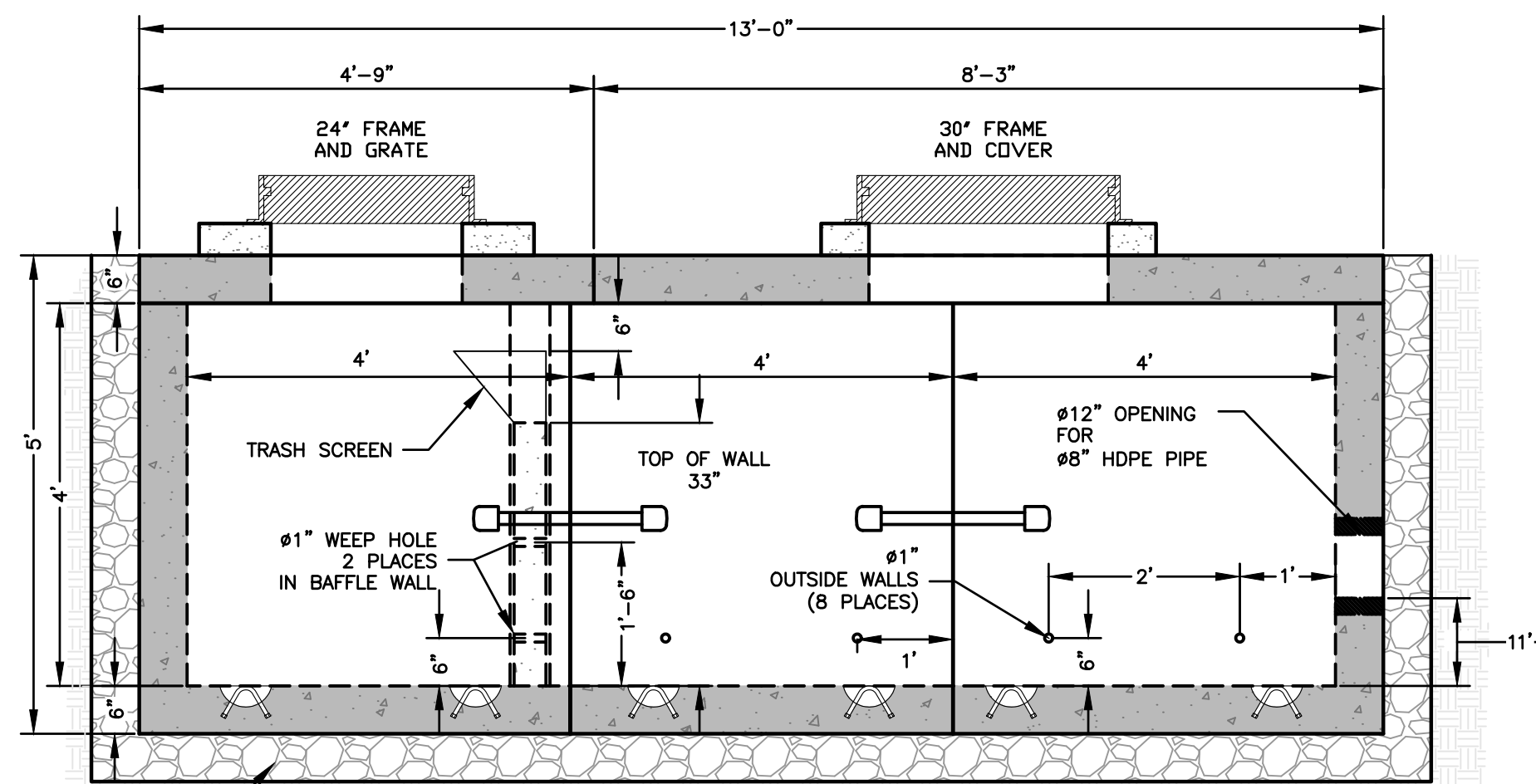
CONSTRUCTION DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG
1	2021-07-19	REVISED DRAINAGE DESIGN	MCS

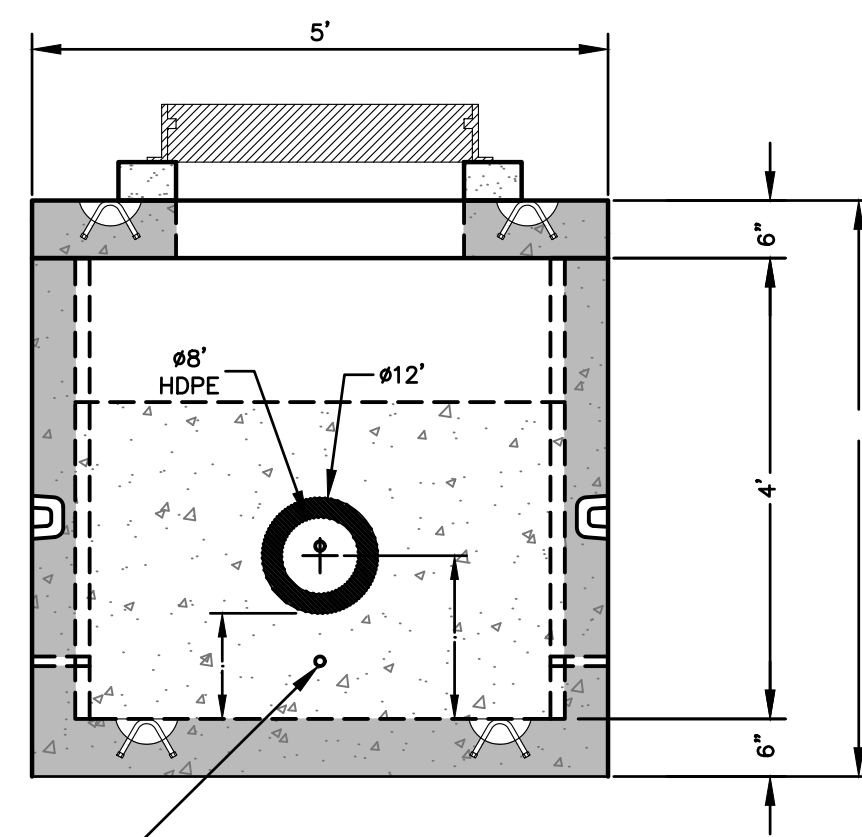
DATE: 2021-07-19	PROJECT #: NM18054
ENGINE'D BY: MJS	DRAWN BY: MCS
CHECK'D BY: MJS	ARCHIVE #: H-___
C502	



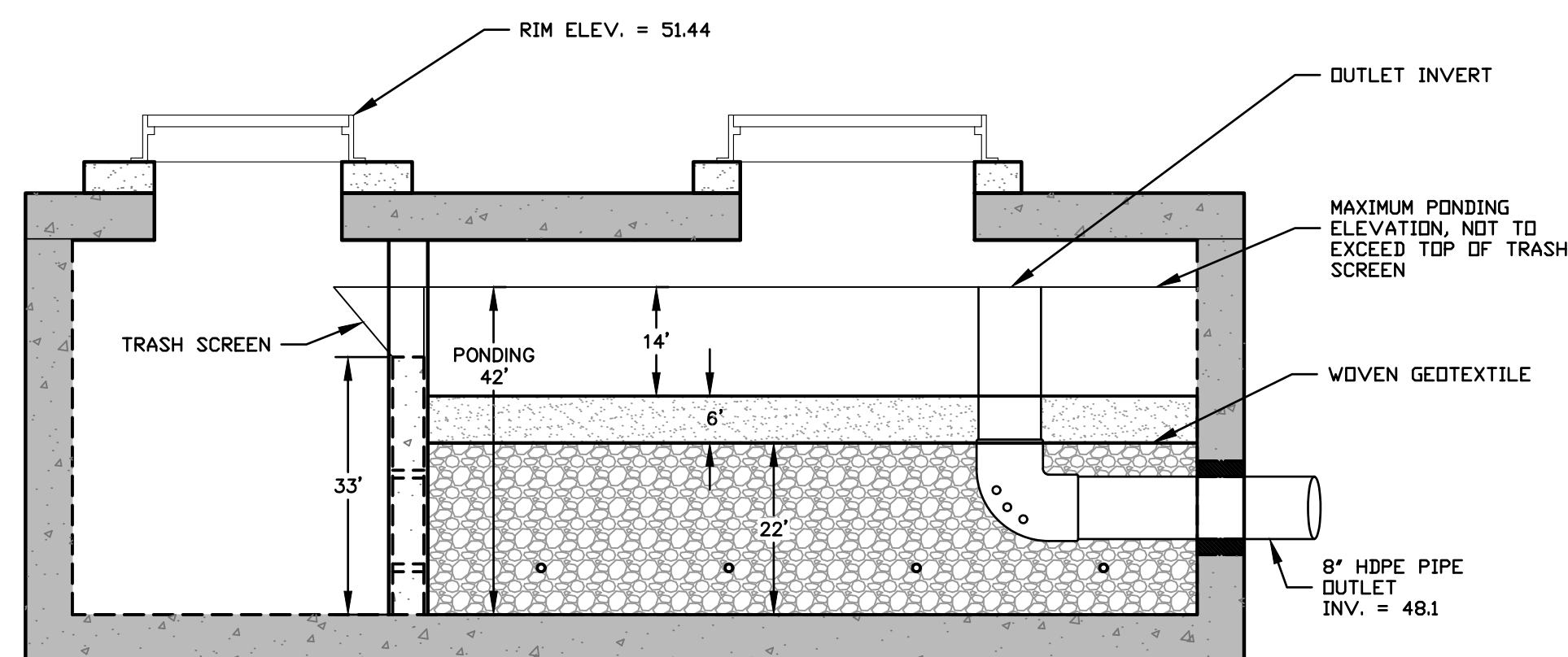
PLAN VIEW



SIDE PROFILE VIEW



END WALL DETAIL



- NOTES:
1. FILTER MEDIA COMPOSITION IS MIXED BY TOTAL VOLUME REQUIRED
 - 1.1. 75-85% COARSE SAND (ASTM C-33 OR EQUIVALENT)
 - 1.2. 15-25% LOAM OR TOP SOIL
 - 1.3. 0-5% WATER TREATMENT RESIDUALS OR IRON FILINGS. THIS IS AN AMENDMENT USED FOR ENHANCED PHOSPHORUS ADSORPTION
 2. WOVEN GEOTEXTILE LAYER OR SILT FENCE MATERIAL. THIS LAYER IS TO REMOVE ALL SILT SIZE PARTICLES AND LARGER, AND PROTECT THE RESERVOIR STONE FROM FILLING WITH FINES. THIS IS ALSO THE DEPTH OF ROUTINE MAINTENANCE, WHICH INVOLVES REMOVING FILTER MEDIA AND GEOTEXTILE AND REPLACING WITH NEW.
 3. RESERVOIR STONE CAN CONSIST OF A WIDE RANGE OF STONE SIZES. PREFERABLY A WASHED STONE OF CONSISTENT GRADATION. e.g. 3/4" OR No. 57 STONE.
 4. SYSTEM OUTLET CONFIGURATION CONSISTS OF A 90degree ELBOW AND SHORT STUB PIECES OF HDPE DOUBLE WALLED OR SDR 35. THE ELEVATION AND DIRECTION THAT THE OUTLET EXITS CAN BE PLUMBED TO BEST FIT THE EXISTING INFRASTRUCTURE. THE OUTLET PIPE SHALL BE SIZED TO PASS THE PREFERRED DESIGN STORM.
 5. DRAINAGE HOLES SHOULD BE DRILLED IN THE OUTLET ELBOW TO DRAIN THE WATER DURING AND BETWEEN STORMS. THE HOLES SHALL BE IN A VERTICAL PLACEMENT TO PROVIDE ADDITIONAL CAPACITY AS THE SYSTEM FILLS. THE HOLES SHOULD BE SMALL ENOUGH TO PREVENT RESERVOIR STONE FROM DRAINING THROUGH. NUMBER AND SIZE OF WEEP HOLES CAN BE DETERMINED BY RESIDENT ENGINEER.
 6. OPTIONAL 1" WEEP HOLES IN EXTERIOR WALLS OF BOX STRUCTURE CAN BE REMOVED FROM PRODUCTION OR PLUGGED IF PREFERRED. BENEFITS INCLUDE: SYSTEM DRAIN DOWN BETWEEN STORMS, GROUNDWATER RECHARGE, AND VOLUME REDUCTION.

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CLARK PROPERTIES, LLC

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DURHAM, NH

CONSTRUCTION DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG
1	2021-07-19	REVISED DRAINAGE DESIGN	MCS

DATE: 2021-07-19	PROJECT #: NM18054
ENGINE'D BY: MJS	DRAWN BY: MCS
CHECK'D BY: MJS	ARCHIVE #: H-___

C503



2 FIRST FLOOR - CONSTRUCTION PLAN
3/16" = 1'-0"

1 BASEMENT - CONSTRUCTION PLAN
3/16" = 1'-0"

CONSTRUCTION PLAN LEGEND

- NEW PARTITION
- NEW DOOR
- NOT IN CONTRACT
- ROOM NAME
- ROOM TAG
- WALL TAG, REFER TO A601

CONSTRUCTION PLAN GENERAL NOTES

- DIMENSIONS:
 - ALL DIMENSIONS AND ALIGNMENT INDICATIONS ARE SHOWN FROM FACE OF SUBSTRATE. THESE DIMENSIONS AND ALIGNMENTS DO NOT INCLUDE SURFACE-APPLIED FINISHES, UNO, WITH THE EXCEPTION OF "CLEAR" DIMENSIONS AS NOTED BELOW. DRAWINGS ARE NOT MEANT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - FIELD VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. ANY DIMENSION NOTED "VERIFY" OR "VIF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
 - ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED, WHERE THIS IS NOT ACHIEVABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
- GC SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNERS CONTRACTORS.
- COORDINATE WITH OWNERS' VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS. SCHEDULE DELIVERY/INSTALLATION DATES AT THE BEGINNING OF THE JOB OR AT OTHERWISE APPROPRIATE TIMES TO ENSURE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
- EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, UNO.
- ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
- INSTALL FIRE RETARDANT BLOCKING AT WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
- ALL WOOD BLOCKING, FRAMING, PLYWOOD, SUBFLOORS, ETC., TO BE FIRE RETARDANT TREATED (FRT), IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE.
- MAINTAIN THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS, EXISTING COLUMNS, AS WELL AS AT THE FLOOR AND FLOOR/ROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD. REPLACE MISSING OR DAMAGED FIREPROOFING.
- TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
- GO TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.

CONSTRUCTION PLAN KEYNOTES

- FIRE-RATED CHASE FOR SUPPLY & RETURN AIR DUCTS - SEE MEP DRAWINGS
- METAL GUARDRAIL
- MOP SINK
- FIRE-RATED CHASE FOR BLACK IRON DUCT

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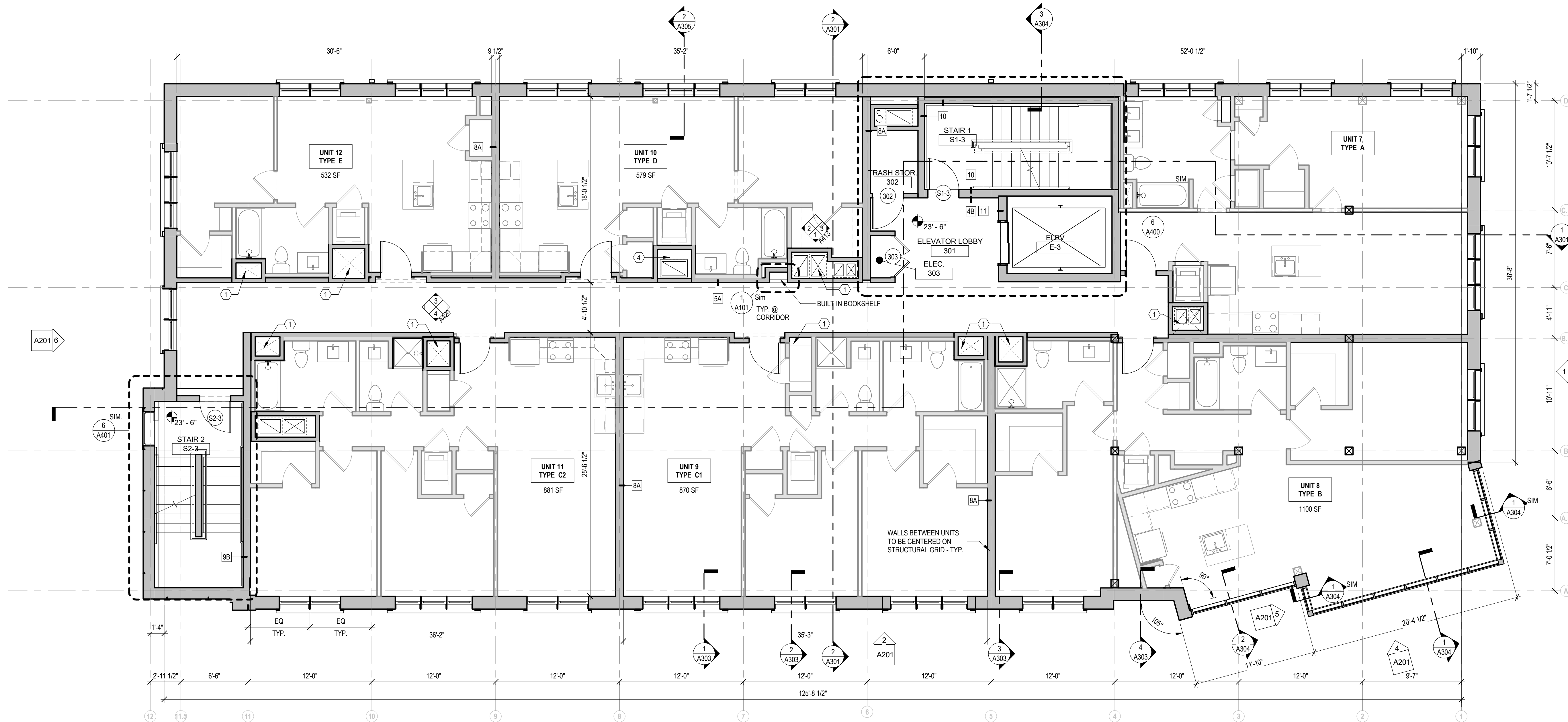
NO. BY DATE DESCRIPTION
74 MAIN STREET
DURHAM, NH

Durham, NH
BASEMENT AND FIRST
FLOOR
CONSTRUCTION PLAN

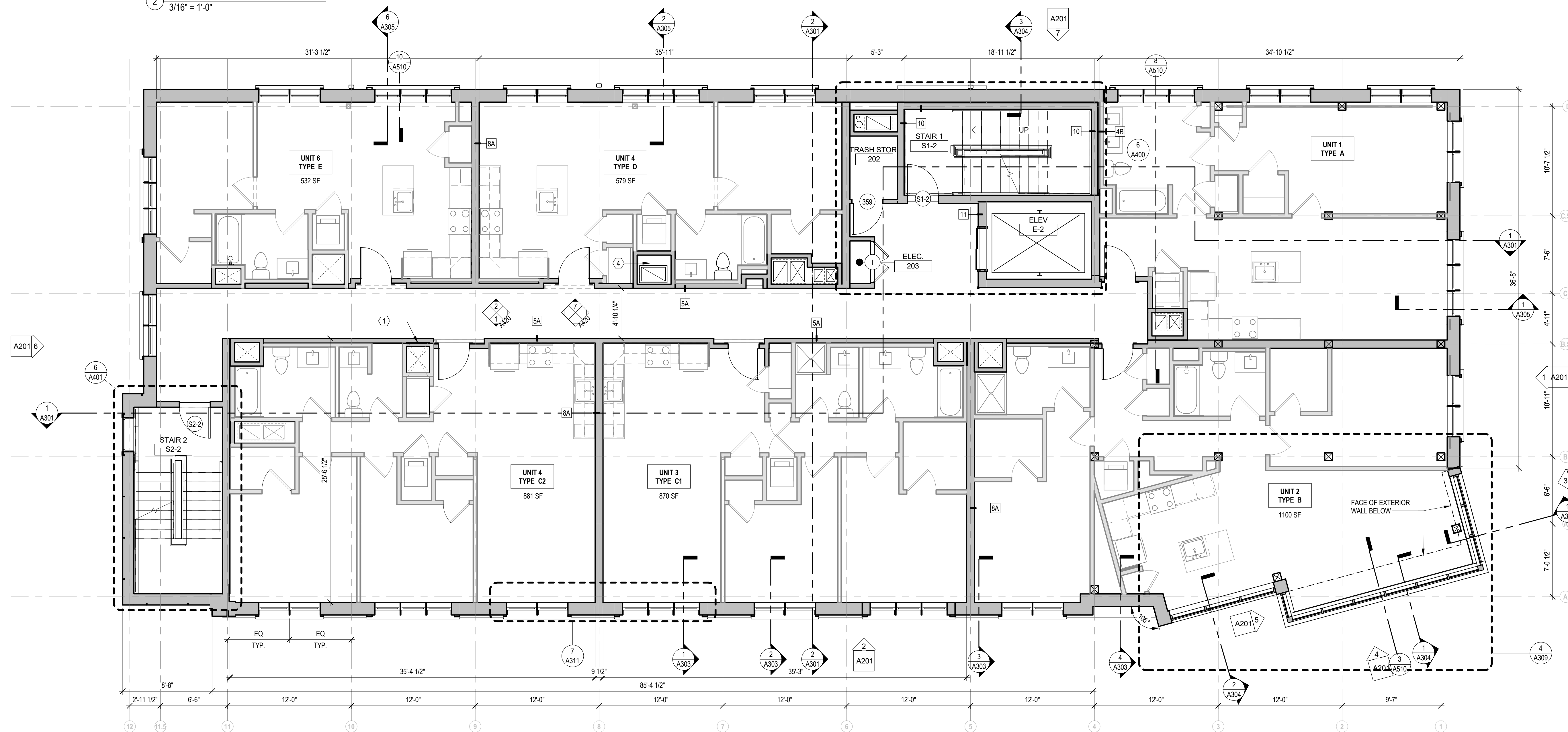
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REVIEWED BY: Checker
JOB NO: 19096.00

A100

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2 THIRD FLOOR - CONSTRUCTION PLAN
3/16" = 1'-0"



1 SECOND FLOOR - CONSTRUCTION PLAN
3/16" = 1'-0"

CONSTRUCTION PLAN LEGEND

- NEW PARTITION
- NEW DOOR
- NOT IN CONTRACT
- ROOM NAME ROOM TAG
- 1A WALL TAG, REFER TO A601

CONSTRUCTION PLAN GENERAL NOTES

- DIMENSIONS:
 - ALL DIMENSIONS AND ALIGNMENT INDICATIONS ARE SHOWN FROM FACE OF SUBSTRATE. THESE DIMENSIONS AND ALIGNMENTS DO NOT INCLUDE SURFACE-APPLIED FINISHES, UNO, WITH THE EXCEPTION OF "CLEAR" DIMENSIONS AS NOTED BELOW.
 - DRAWINGS ARE NOT MEANT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - FIELD VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. ANY DIMENSION NOTED "VERIFY" OR "VF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
 - ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED, WHERE THIS IS NOT ACHIEVABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
- GC SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNERS CONTRACTORS.
- COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS. SCHEDULE DELIVERY/INSTALLATION DATES AT THE BEGINNING OF THE JOB OR AT OTHERWISE APPROPRIATE TIMES TO ENSURE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
- EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, UNO.
- ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
- INSTALL FIRE RETARDANT BLOCKING AT WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
- ALL WOOD BLOCKING, FRAMING, PLYWOOD, SUBFLOORS, ETC., TO BE FIRE RETARDANT TREATED (FRT), IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE.
- MAINTAIN THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS, EXISTING COLUMNS, AS WELL AS AT THE FLOOR AND FLOOR/ROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD. REPLACE MISSING OR DAMAGED FIREPROOFING.
- TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
- GC TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.

CONSTRUCTION PLAN KEYNOTES

- FIRE-RATED CHASE FOR SUPPLY & RETURN AIR DUCTS - SEE MEP DRAWINGS
- METAL GUARDRAIL
- MOP SINK
- FIRE-RATED CHASE FOR BLACK IRON DUCT

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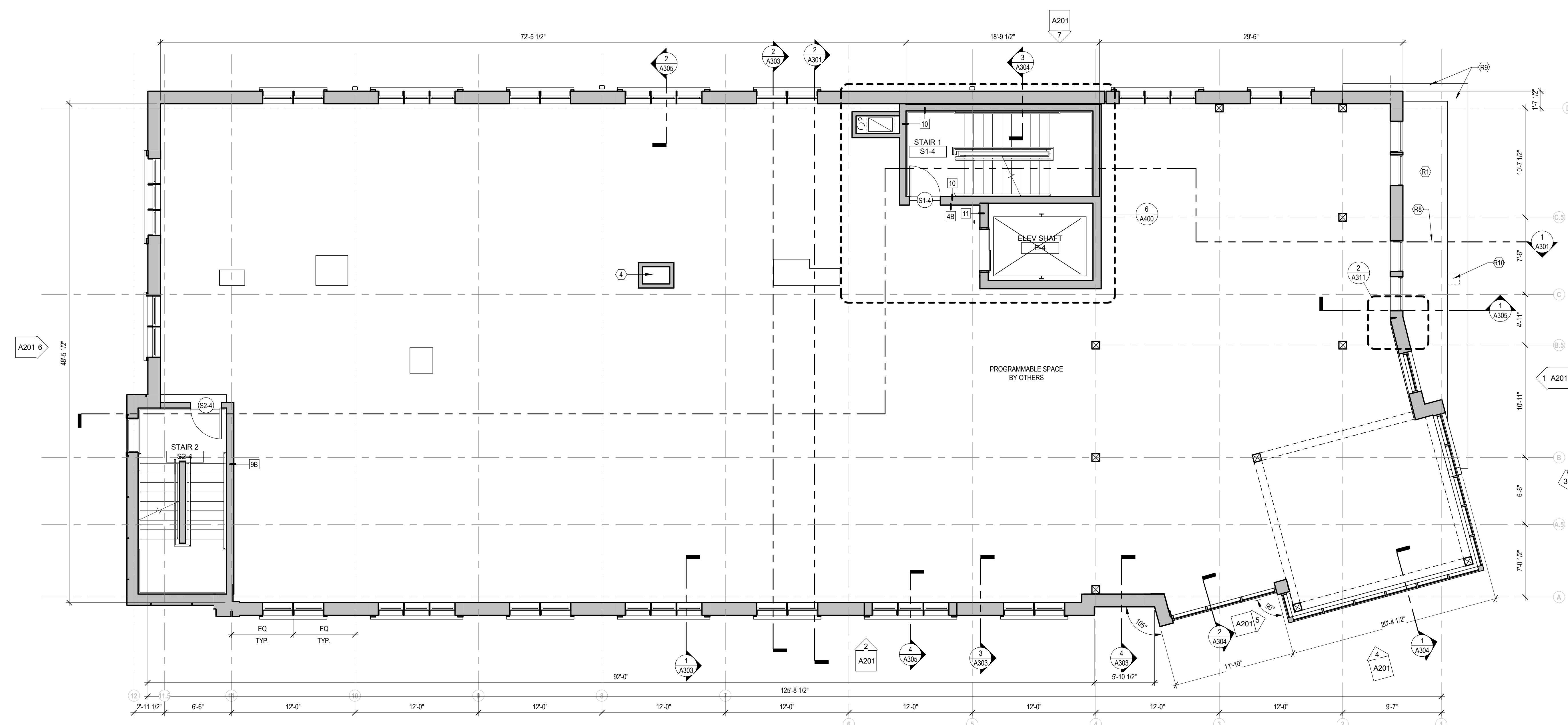
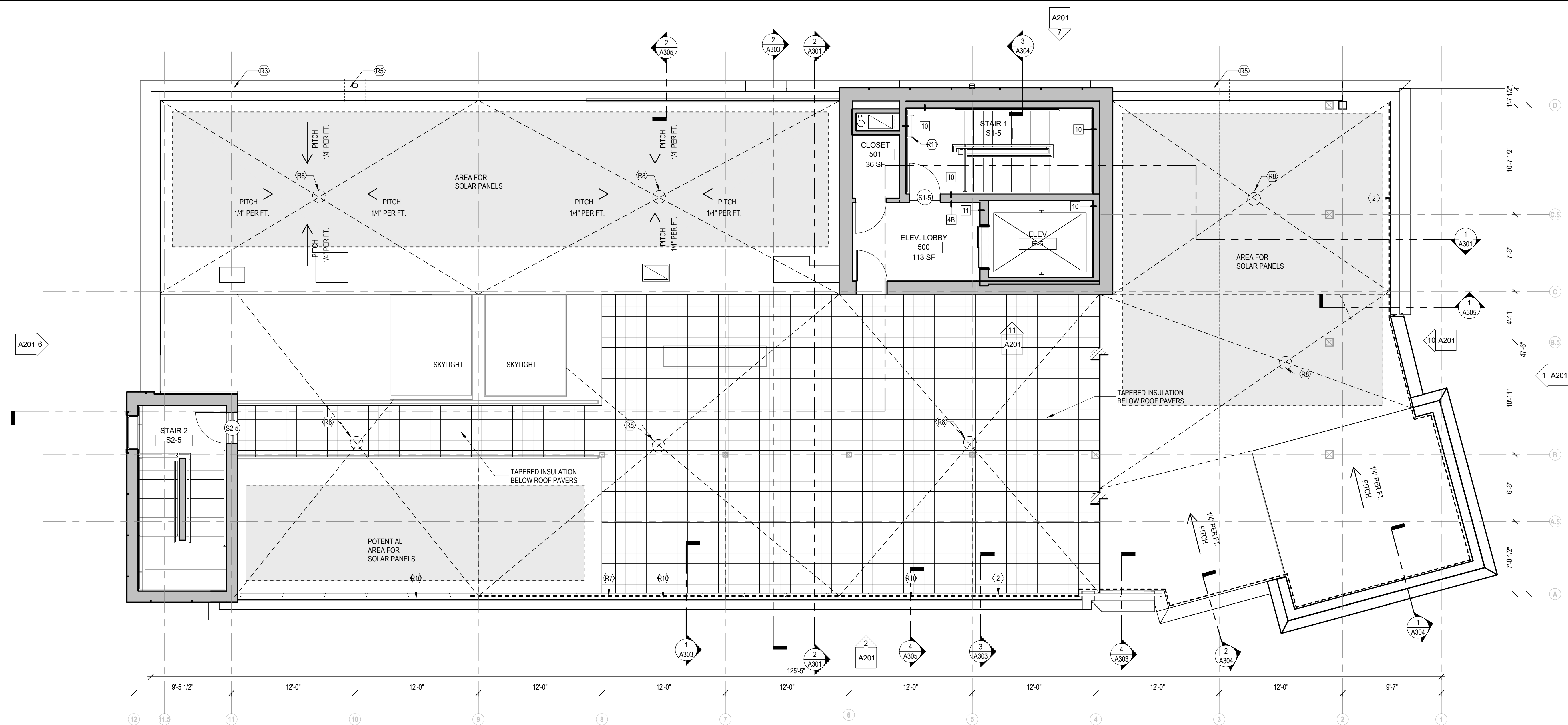
74 MAIN STREET
74 MAIN STREET
DURHAM, NH

Durham, NH




SECOND & THIRD
FLOOR
CONSTRUCTION PLAN

DRAWN BY: CS
REVIEWED BY: Checker
JOB NO: 19096.00

A101



CONSTRUCTION PLAN LEGEND

	NEW PARTITION
	NEW DOOR
	NOT IN CONTRACT
ROOM NAME	ROOM TAG
1A	WALL TAG, REFER TO A601

CONSTRUCTION PLAN GENERAL NOTES

1. DIMENSIONS:
 - a. ALL DIMENSIONS AND ALIGNMENT DIMENSIONS ARE SHOWN FROM THE FACE OF SUBSTRATE. THESE DIMENSIONS AND ALIGNMENTS DO NOT INCLUDE SURFACE-APPLIED FINISHES. UNO, WITH THE EXCEPTION OF "CLEAR" DIMENSIONS AS NOTED BELOW.
 - b. DIMENSIONS ARE NOTED IN "INCHES" UNLESS OTHERWISE MISSING, OR CONFLICTING WITHIN DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - c. VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. ANY DISCREPANCY NOTED "VERY R" OR "VF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
 - d. DIMENSIONS INDICATED AS "CLEAR" OR "C" SHALL NOT VARY MORE THAN 1/16" DIMENSIONS INDICATED AS "CLEAR" OR "C" SHALL BE MAINTAINED. WHERE THIS IS NOT ACHIEVABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
 - e. GC SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILL/WORKER, OWNER AND OWNERS CONTRACTORS. COORDINATE WITH OWNER AND ARCHITECT PRIOR TO BEGINNING INSTALLATION OF ALL OWNER SUPPLIED ITEMS. SCHEDULE DELIVERY/INSTALLATION DATE AT THE BEGINNING OF THE JOB OR AT THE END OF THE APPROPRIATE TIME PERIODS TO ENSURE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
 - f. EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR SURFACE.
 - g. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE FINISH FLOOR PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
 - h. INSTALL FIRE RETARDANT BLOCKING AT WALL AND CEILING UNIFORM TO THE CORNER/ANGLE OF THE FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
 - i. ALL WOOD BLOCKING, FRAMING, PL/WOOD, SUB FLOORS, ETC., TO BE MAINTAINED AT LEAST 1/4" CLEARANCE FROM ALL SURFACES. BLOCKING SHALL BE MOISTURE RESISTANT. IN FIELD OF FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE COMBUSTIBLE.
 - j. MAINTAIN THE FIRE RATING INTACT AT DEMISING AND FIRE RATED WALLS. EXISTING COLLINS, AS WELL AS THE FLOOR AND CEILING ASSEMBLY, SHALL BE MAINTAINED IN FIELD. REPAIRS AND PATCHES MISSING OR DAMAGED / FREEPOOFING.
 - k. TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
 - l. ALL MATERIALS AND FINISHES TO BE IDENTIFIED BY THE ARCHITECT. EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.

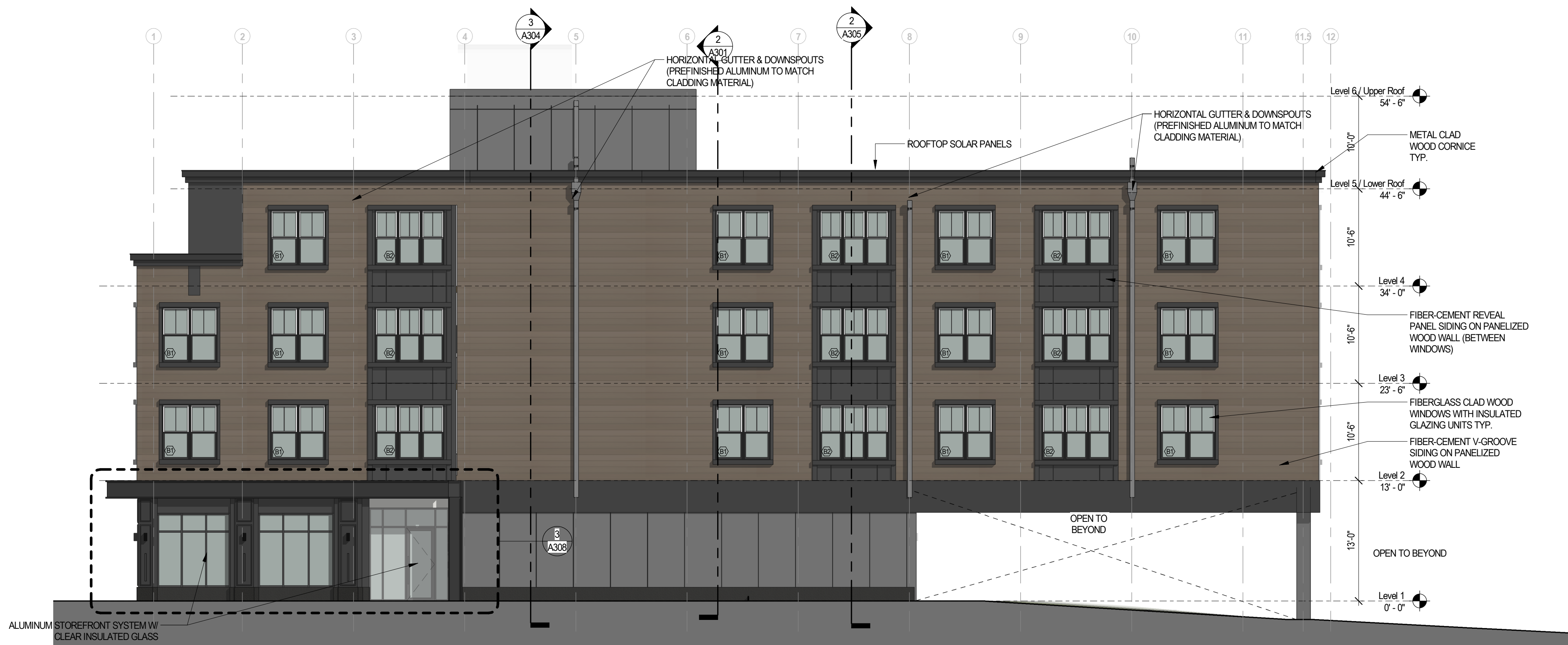
CONSTRUCTION PLAN KEYNOTES

- ① FIRE-RATED CHASE FOR SUPPLY & RETURN DRAWINGS
- ② METAL GUARDRAIL
- ③ MOP SINK
- ④ FIRE-RATED CHASE FOR BLACK IRON DUCT

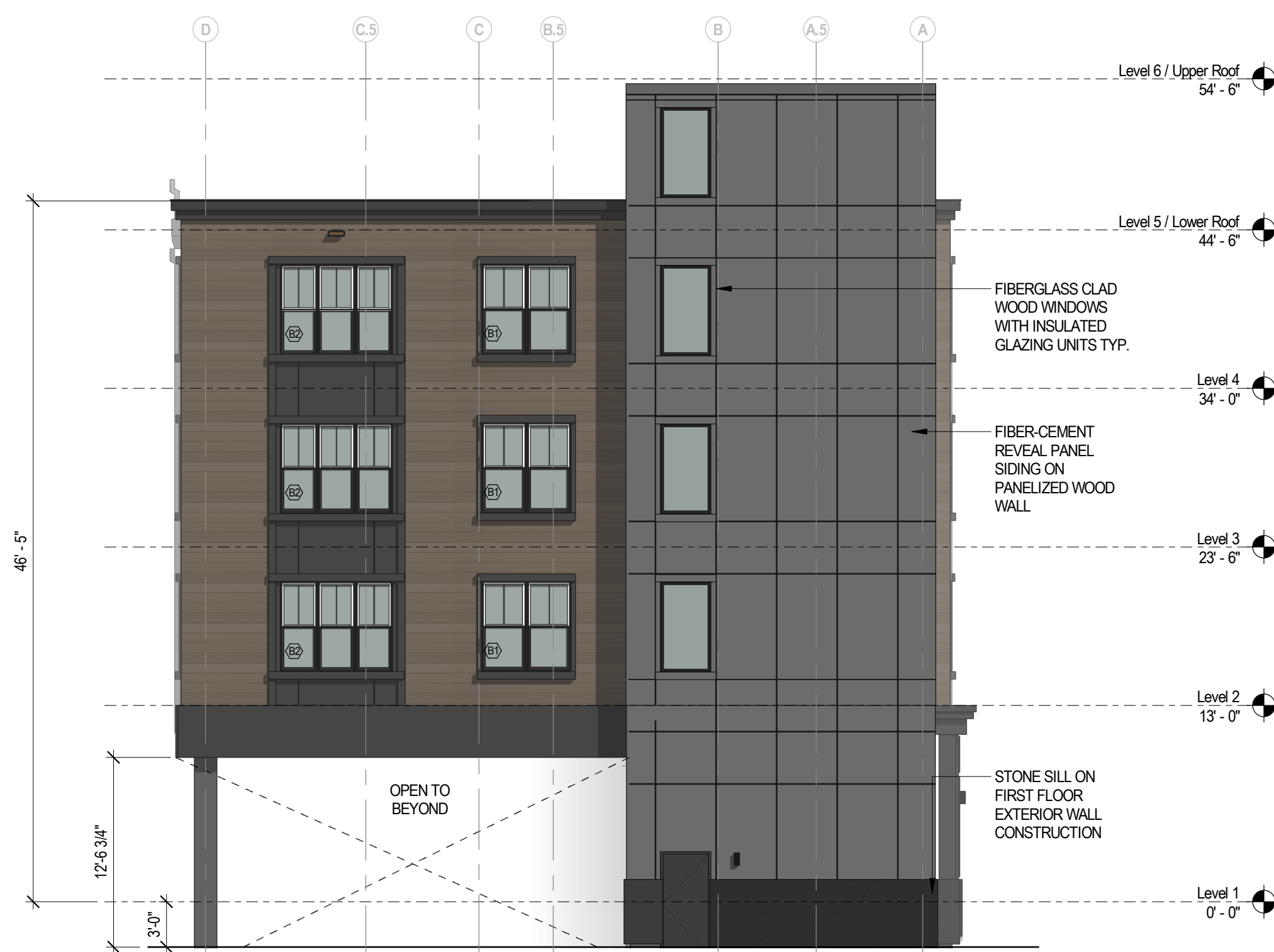
ROOF PLAN KEYNOTES

(R1)	FULLY ADHERED TPO ROOFING SYSTEM OVER TAPERED BOARD INSULATION R30 MINIMUM. PROVIDE CANTS AND CRICKETS AS REQ'D AT ALL PENETRATIONS
(R2)	PREFINISHED ALUMINUM PARAPET CAP/Drip EDGE GUTTER. SEE SECTION DETAILS FOR PROFILE(S)
(R3)	PREFINISHED ALUMINUM CORNICE W/INTERGRAL GUTTER
(R4)	MECHANICAL EQUIPMENT ON DUNNAGE. COORD. W/ MECHANICAL & STRUCTURAL
(R5)	SCUPPER THROUGH PARAPET. PROVIDE PREFINISHED ALUMINUM LEADERHEAD
(R6)	PRIVACY SCREEN AT MECHANICAL AREA
(R7)	EXTENT OF FINISH ON BACKSIDE OF PARAPET
(R8)	ROOF DRAIN - SEE PLUMBING DWGS.
(R9)	METAL CAP FLASHING AT PARAPET & CORNICE. SEE SECTION DETAILS FOR PROFILE(S)
(R10)	PREFINISHED ALUMINUM OVERFLOW SCUPPER
(R11)	LADDER TO ROOF HATCH

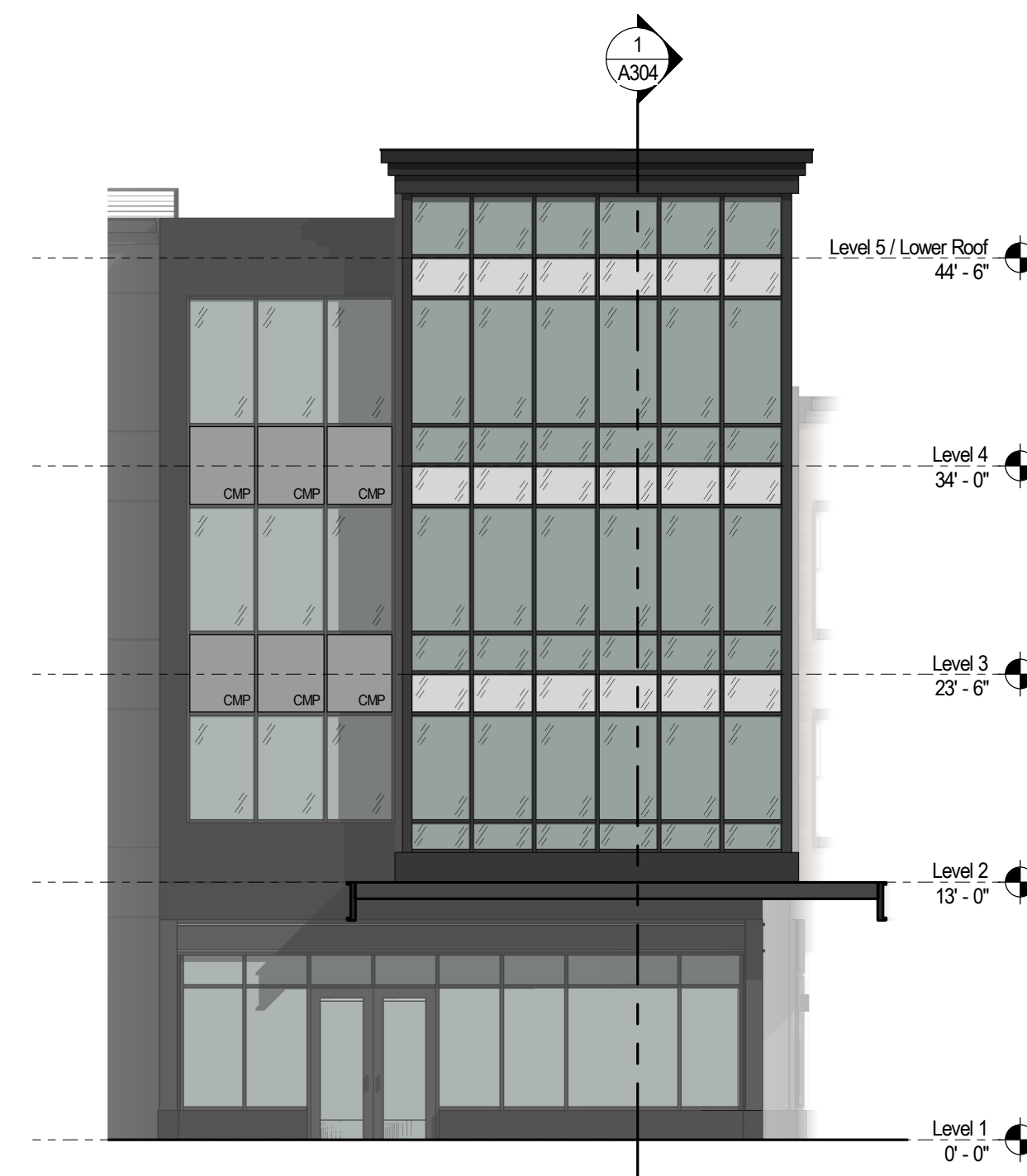
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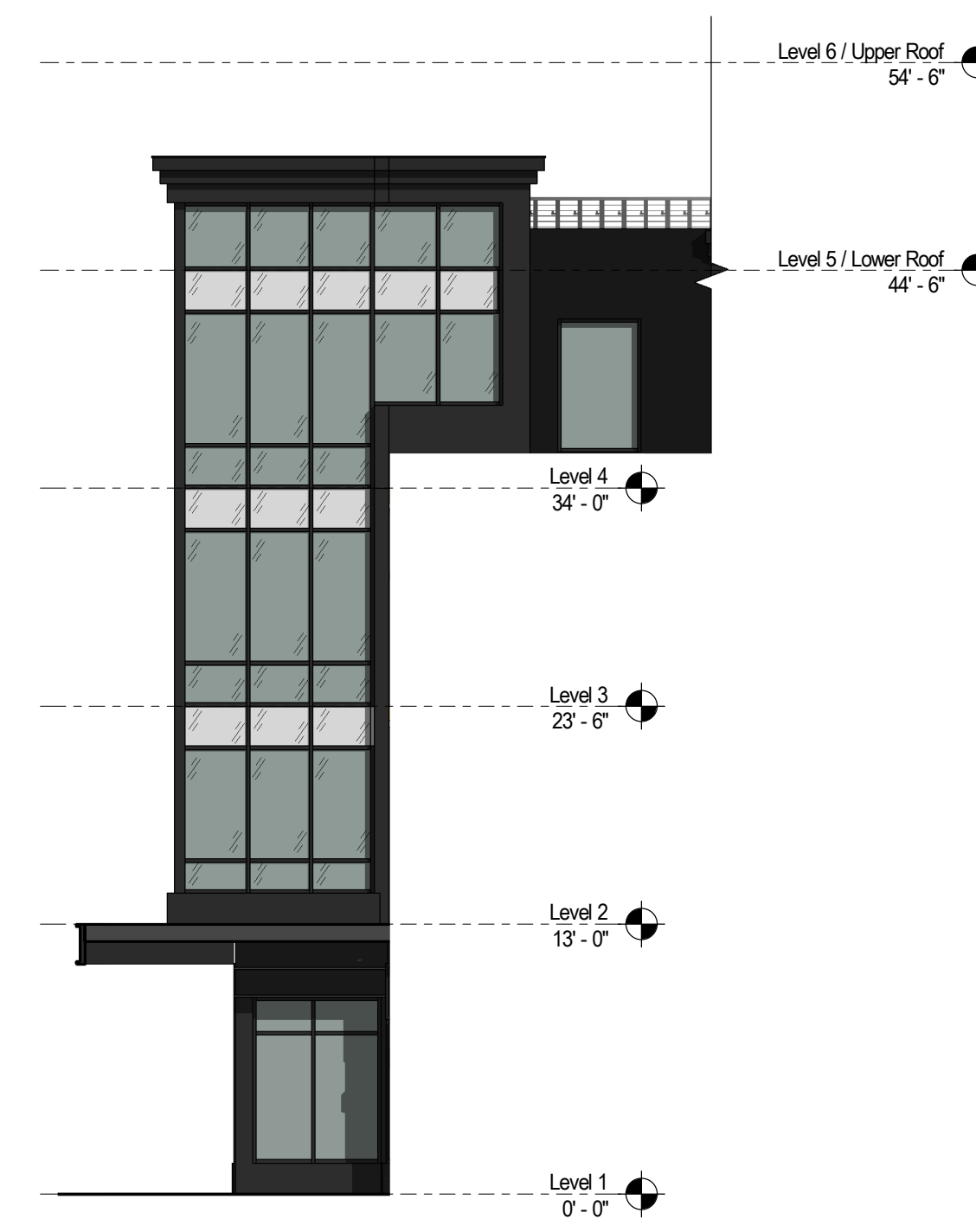
7 NORTH (REAR) ELEVATION
1/8" = 1'-0"



6 WEST ELEVATION
1/8" = 1'-0"



4 TOWER ELEVATION A (SOUTH)
1/8" = 1'-0"



3 TOWER ELEVATION B (EAST)
1/8" = 1'-0"



2 SOUTH (PETTEE BROOK) ELEVATION
1/8" = 1'-0"



1 EAST (MAIN ST.) ELEVATION
1/8" = 1'-0"

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74 MAIN STREET

Durham, NH

ELEVATIONS

DRAWN BY:	Author
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REVIEWED BY:	Checker
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JOB NO:	19096.00
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A201