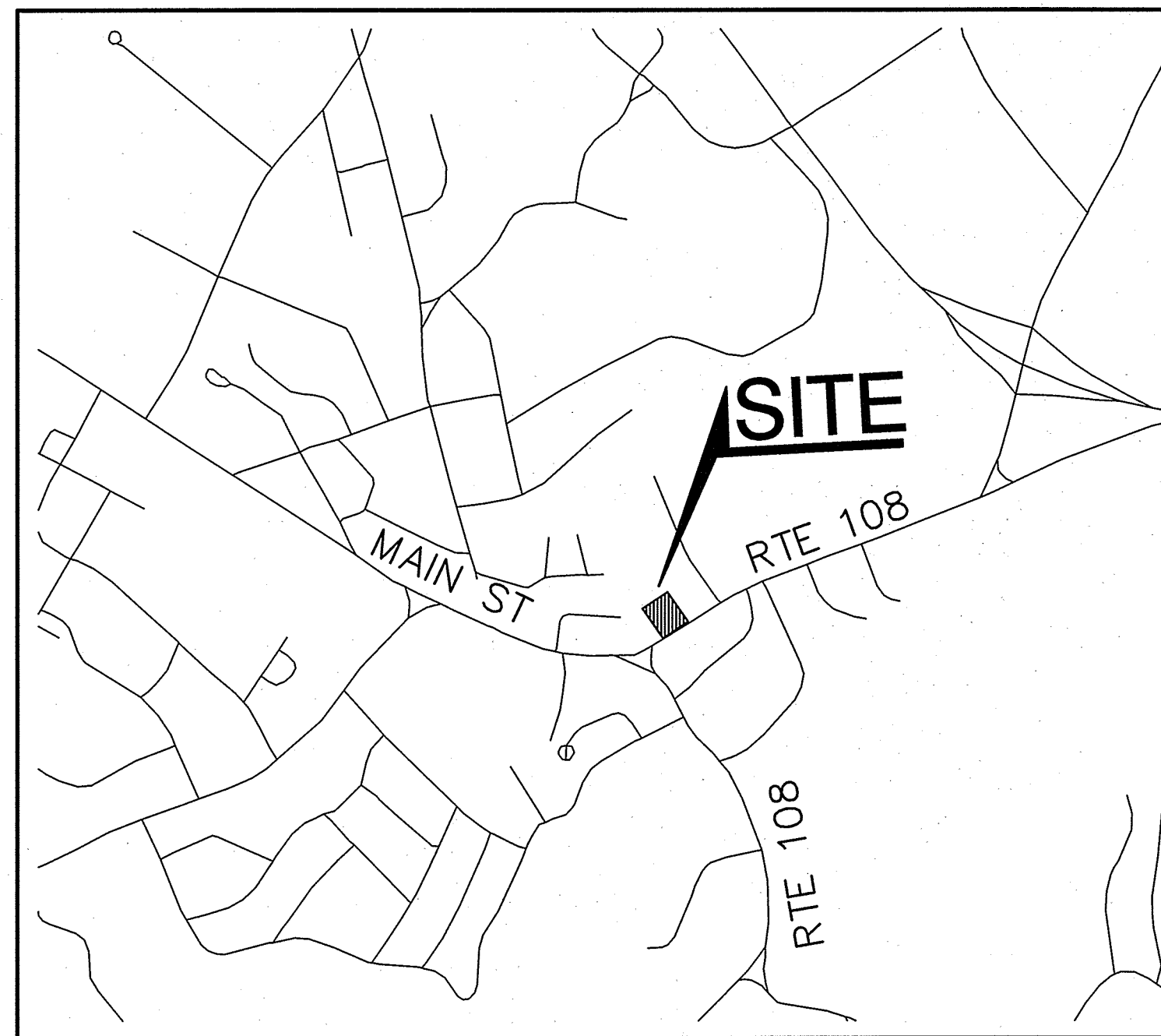


COMMERCIAL DEVELOPMENT 3 BAY CAR SERVICE TAX MAP 4, LOT NUMBER 49 3 DOVER ROAD, ROUTE 108, DURHAM, NH

SHEET INDEX

- CS COVER SHEET
- C1 EXISTING CONDITIONS PLAN
- C2 DEMOLITION PLAN
- C3 SITE & UTILITY PLAN
- C4 GRADING AND DRAINAGE PLAN
- L1 LANDSCAPE AND LIGHTING PLAN
- D1-D2 DETAIL SHEETS
- E1 EROSION AND SEDIMENT CONTROL DETAILS
- A1 SCHEMATIC PLAN & ELEVATIONS



LOCUS MAP
SCALE 1" = 1000'

PERMITS

TYPE OF PERMIT	STATUS
NHDOT DRIVEWAY PERMIT: NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, DISTRICT SIX P.O. BOX 740 DURHAM, NEW HAMPSHIRE 03824 (603) 868-1133 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
DURHAM SITE PLAN APPROVAL: TOWN OF DURHAM PLANNING BOARD 15 NEWMARKET RD DURHAM, NEW HAMPSHIRE 03042 (603) 868-8064 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:

APPLICANT / DEVELOPER
 TROPIC STAR DEVELOPMENT, LLC
 321D LAFAYETTE ROAD
 HAMPTON, NH 03842
 (603) 926-7770
 CONTACT: JAMES MITCHELL

CIVIL ENGINEER / SURVEYOR
 JONES & BEACH ENGINEERS, INC.
 85 PORTSMOUTH AVENUE
 PO BOX 219
 STRATHAM, NH 03885
 (603) 772-4746
 CONTACT: WAYNE MORRILL
 EMAIL: WMORRILL@JONESANDBEACH.COM

SEWER
 WASTEWATER TREATMENT FACILITY
 50 PISCATAQUA RD (RT4)
 DURHAM, NH 03824
 (603) 868-8063

ELECTRIC
 PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
 74 OLD DOVER ROAD
 ROCHESTER, NH 03867
 (603) 332-4227

TELEPHONE
 FAIRPOINT COMMUNICATIONS
 1575 GREENLAND ROAD
 GREENLAND, NH 03840
 (603) 427-5525
 CONTACT: JOE CONSIDINE

TELEPHONE
 FAIRPOINT COMMUNICATIONS
 100 TRI CITY ROAD
 SOMERWORTH, NH 03878
 ATTN: DAVE KESTNER
 (603) 743-1114

CABLE TV
 COMCAST COMMUNICATION CORPORATION
 334-B CALEF HIGHWAY
 EPPING, NH 03042-2325
 (603) 679-5695

WATER
 DEPARTMENT OF PUBLIC WORKS
 100 STONE QUARY DRIVE
 DURHAM, NH 03824

VARIANCES GRANTED: JUNE 10, 2014

FROM ARTICLE XII, SECTIONS 175-54 AND 175-55(B); AND ARTICLE XXI, SECTIONS 175-111(G)(5), 175-113 AND 175-116(A) OF THE ZONING ORDINANCE TO ALLOW FOR 12 PARKING SPACES FOR A COMMERCIAL PROPERTY WHERE 16 SPACES WOULD BE REQUIRED, TO ALLOW LESS THAN 5% OF THE PARKING AND DRIVEWAY ARE TO BE LANDSCAPED, TO ALLOW PARKING IN THE REAR YARD, AND TO ALLOW AN ADA PARKING AISLE WITHIN THE FRONT YARD AND A REFUSE CONTAINER WITHIN THE SIDE AND REAR YARDS.

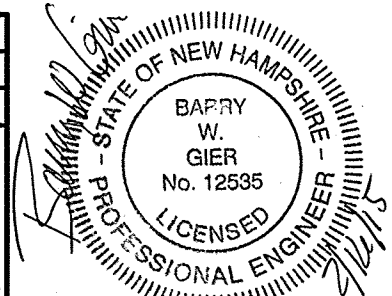
PROJECT PARCEL TOWN OF DURHAM TAX MAP 4, LOT 49
OWNER CUMBERLAND FARMS, INC. 100 CROSSING BLVD, V 1015 FRAMINGHAM, MA 01702 BK 1095, PG 35
TOTAL LOT AREA 11,279 SQ. FT. 0.25 ACRES

**APPROVED - DURHAM, NH
PLANNING BOARD**

DATE: _____

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Design: BWG	Draft: GPC	Date: 05/30/14
Checked: WGM	Scale: AS NOTED	Project No.: 14011
Drawing Name: 14011-PLAN.dwg		
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REV.	DATE	REVISION	BY
2	02/11/15	REVISED PER PLANNING BOARD COMMENTS	EMP
1	11/04/14	REVISED PER TRC COMMENTS	BWG
0	08/27/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

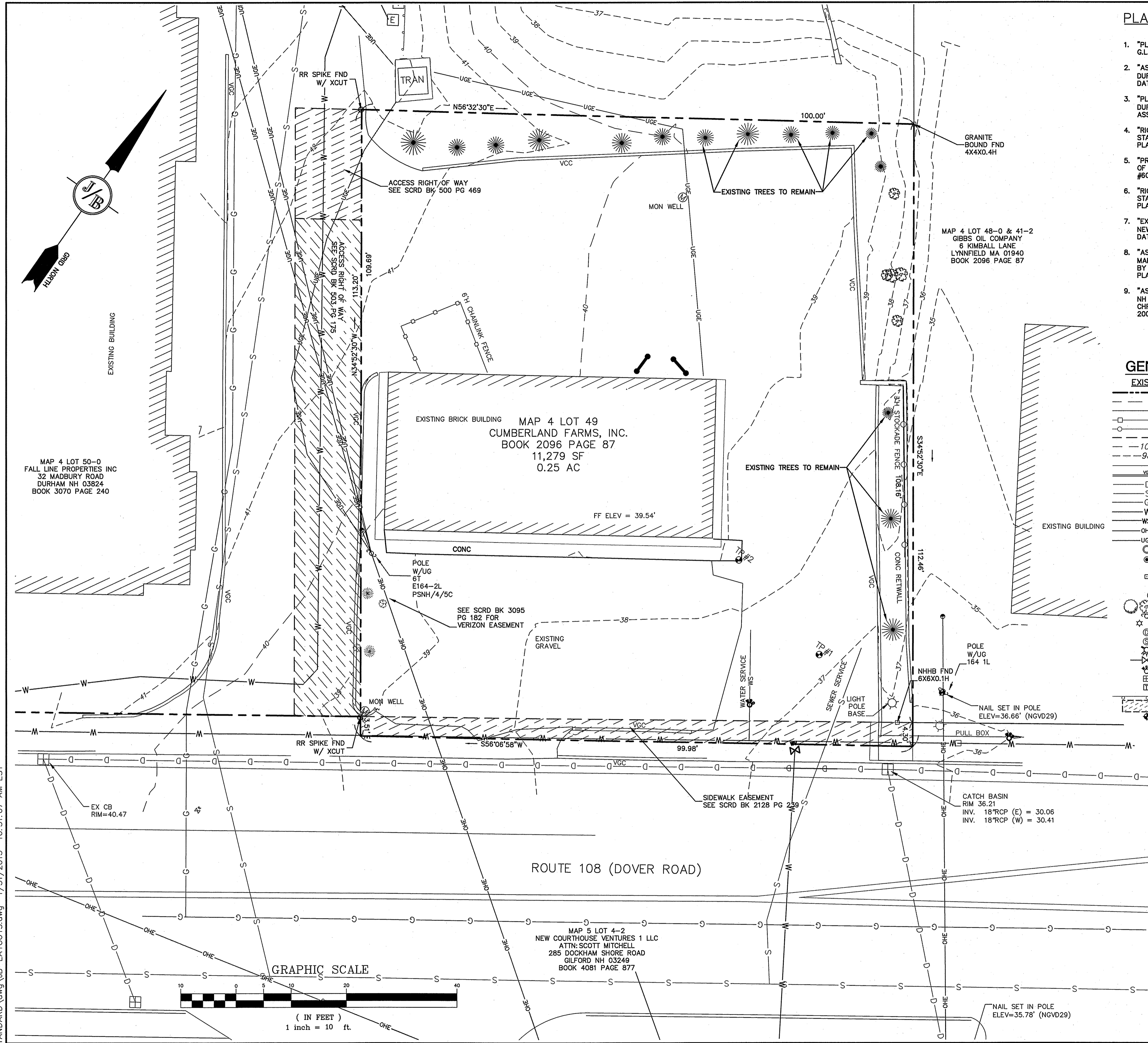
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	3 BAY CAR SERVICE 3 DOVER ROAD, ROUTE 108, DURHAM, NH
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

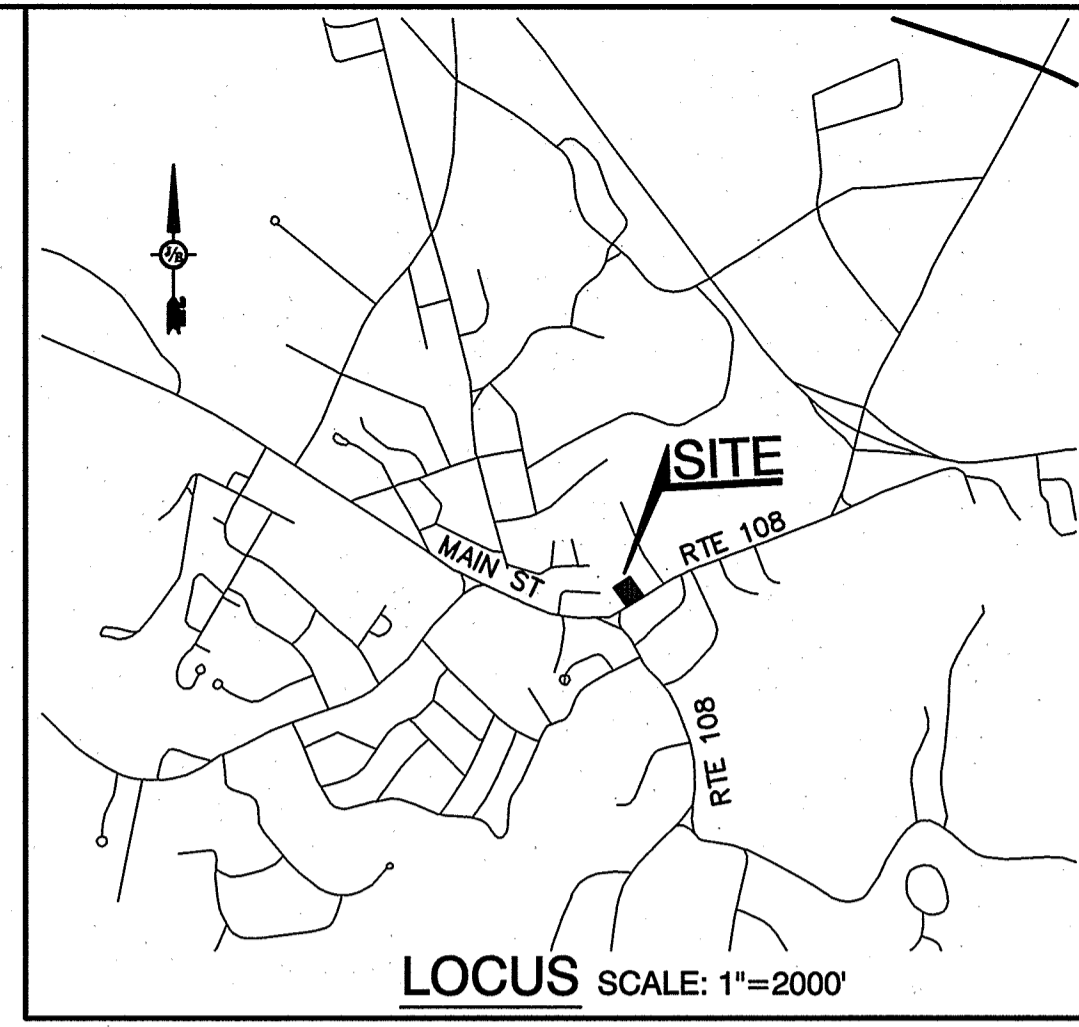
DRAWING No.	CS
SHEET 1 OF 10 JBE PROJECT NO. 14011	

CUMBERLAND FARMS DURHAM, NH JBE # 14011 REVISION X.130600X



PLAN REFERENCES

- "PLAN OF LAND FOR GULF OIL CO., DURHAM, NH" PREPARED BY GRANT L. DAVIS, LLS, G.L. DAVIS & ASSOCIATES, DATED APRIL 16, 1957.
- "AS BUILT ALTA SURVEY STORE #867, PREPARED FOR CIRCLE K CORPORATION, DURHAM, NH," PREPARED BY RICHARD S. LADD, LLS, RSL LAYOUT & DESIGN, INC., DATED SEPTEMBER 26, 1989, S.C.R.D. PLAN #45-85.
- "PLAN OF LAND FOR ROBERTA D. GABRIEL, MAIN STREET, COUNTY OF STRAFFORD, DURHAM, NH," PREPARED BY RICHARD P. MILLETTE, LLS, RICHARD P. MILLETTE & ASSOCIATES, DATED JULY 21, 1993, S.C.R.D. PLAN #42-56.
- "RIGHT-OF-WAY PLANS, TOWN OF DURHAM, COUNTY OF STRAFFORD" PREPARED BY STATE OF NH, NHDOT ROW PLANS, SHEET 8 OF 13, DATED NOVEMBER 1998, S.C.R.D. PLAN #60-59.
- "PROPERTY LAYOUT, TOWN OF DURHAM, COUNTY OF STRAFFORD" PREPARED BY STATE OF NH, NHDOT ROW PLANS, SHEET 4 OF 12, DATED FEBRUARY 2000, S.C.R.D. PLAN #60-56.
- "RIGHT-OF-WAY PLANS, TOWN OF DURHAM, COUNTY OF STRAFFORD" PREPARED BY STATE OF NH, NHDOT ROW PLANS, SHEET 9 OF 13, DATED FEBRUARY 2000, S.C.R.D. PLAN #60-60.
- "EXISTING CONDITIONS PLAN OF TAX MAP 4, LOTS 50-53, MAIN STREET, DURHAM, NEW HAMPSHIRE," PREPARED BY WILLIAM J. DOUCET, LLS, DOUCET SURVEY INC, DATED JULY 17, 2001, S.C.R.D. PLAN #78-38.
- "AS-BUILT CONDOMINIUM SITE PLAN OF HOTEL NEW HAMPSHIRE CONDOMINIUM, TAX MAP 4, LOT 50, MAIN STREET (ROUTE 108), DURHAM, NEW HAMPSHIRE" PREPARED BY WILLIAM J. DOUCET, LLS, DOUCET SURVEY INC., DATED JULY 17, 2001, S.C.R.D. PLAN #86-01.
- "AS-BUILT PLAN, ASSESSORS MAP 5 LOT 4-2, 4 DOVER ROAD, ROUTE 108, DURHAM, NH 03024, PREPARED FOR COURTHOUSE VENTURES, LLC," PREPARED BY CHRISTOPHER FRANCHER, LLS, MHF DESIGN CONSULTANTS, INC., DATED AUGUST 24, 2006, NOT RECORDED.



EXISTING CONDITIONS NOTES:

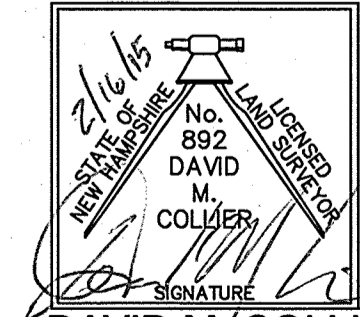
- THIS PLAN IS INTENDED TO DEPICT THE EXISTING CONDITIONS OF MAP 4 LOT 49.
- ZONING DISTRICT: COURTHOUSE
LOT AREA MINIMUM = 5,000 SF
LOT FRONTAGE MINIMUM = 50'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 15'(MIN) 25' (MAX)
SIDE SETBACK = 10'
REAR SETBACK = 15'
MAXIMUM BUILDING = 30' (WITH PB APPROVAL 35')
EXISTING IMPERVIOUS = 63.9%
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
- VERTICAL DATUM: NGVD29. HORIZONTAL DATUM: NH GRID 83.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE (ZONE X - AREAS OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN). REFERENCE FEMA COMMUNITY PANEL NO. 33017 C 0318 D, DATED MAY 17, 2005.
- RESEARCH WAS PERFORMED AT THE TOWN OF DURHAM ASSESSORS OFFICE AND THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- NO COMMISSIONERS RETURN OR TAKINGS WERE FOUND FOR THE SUBJECT PARCEL.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF DURHAM TAX RECORDS AND ARE SUBJECT TO CHANGE.
- ALL BOOK AND PAGE NUMBERS REFER TO THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO TRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON.
- OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE. ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE SURVEY TIE LINES SHOWN ON THIS PLAN ARE NOT BOUNDARY LINES, THEY ONLY SHOULD BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY SURVEY.
- LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY.

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRAVITE BOUND
---	---	TEST PIT
---	---	MONITORING WELL
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	SINGLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	GUARDRAIL
---	---	EASEMENT
---	---	BENCHMARK

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



DAVID M/COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 2/16/15

Design: BWG	Draft: GPC	Date: 05/30/14
Checked: WGM	Scale: 1"=10'	Project No.: 14011
Drawing Name: 14011-PLAN.dwg		
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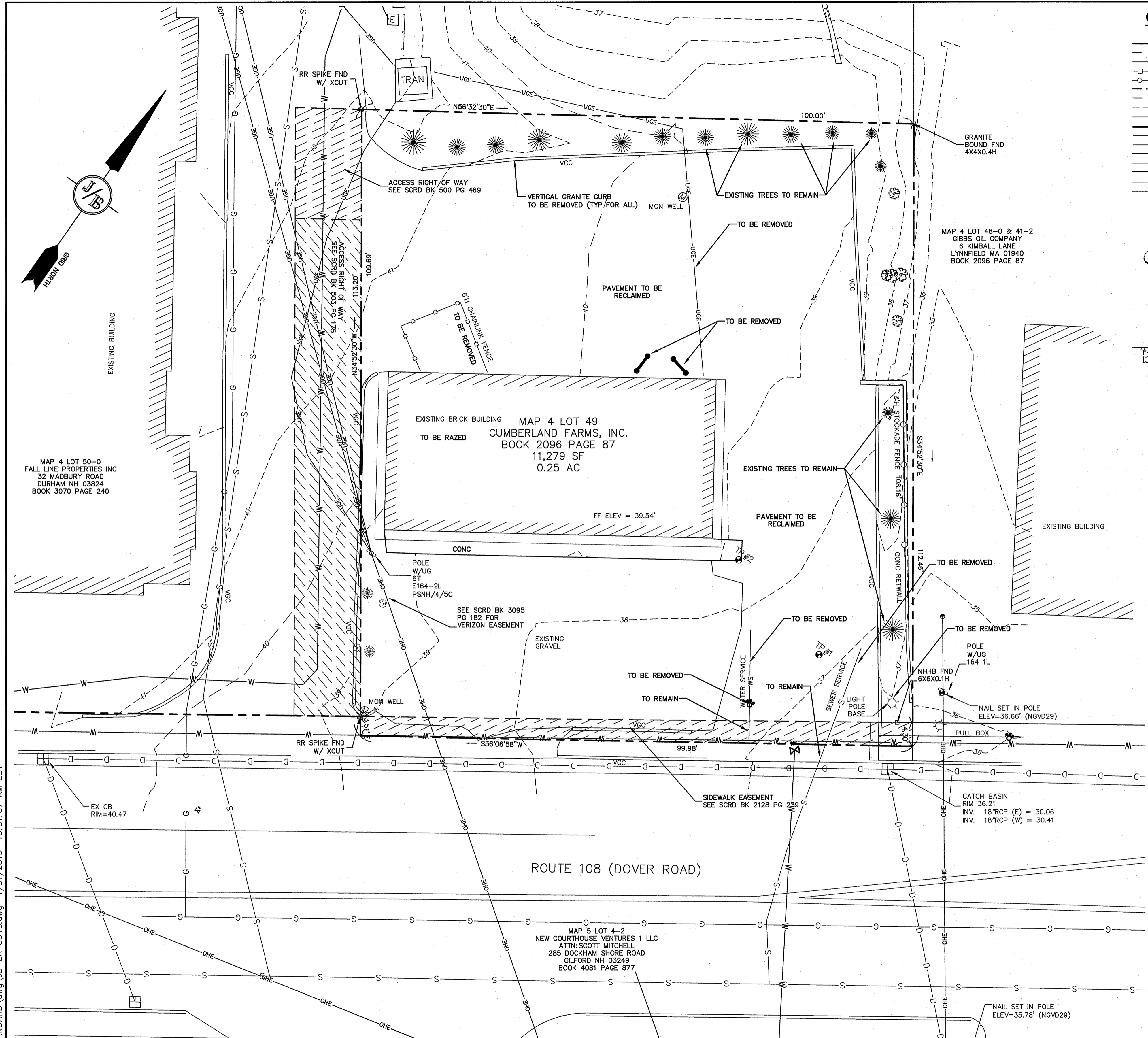
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J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	3-BAY CAR SERVICE 3 DOVER ROAD, ROUTE 108, DURHAM, NH
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.	C1
SHEET 2 OF 10	JBE PROJECT NO. 14011

PROJECT PARCEL TOWN OF DURHAM TAX MAP 4, LOT 49
OWNER CUMBERLAND FARMS, INC. 100 CROSSING BLVD, V 1015 FRAMINGHAM, MA 01702 BK 1095, PG 35
TOTAL LOT AREA 11,279 SQ. FT. 0.25 ACRES

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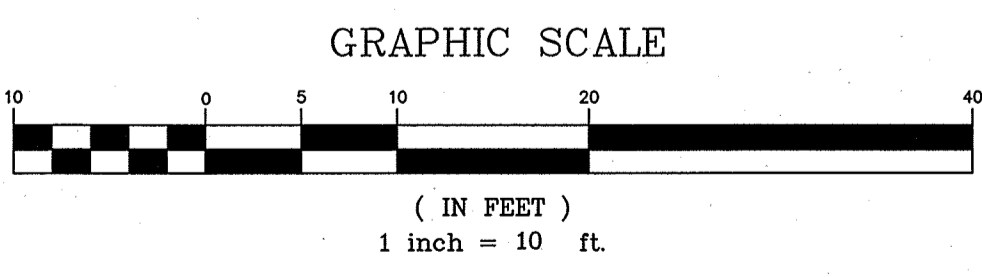
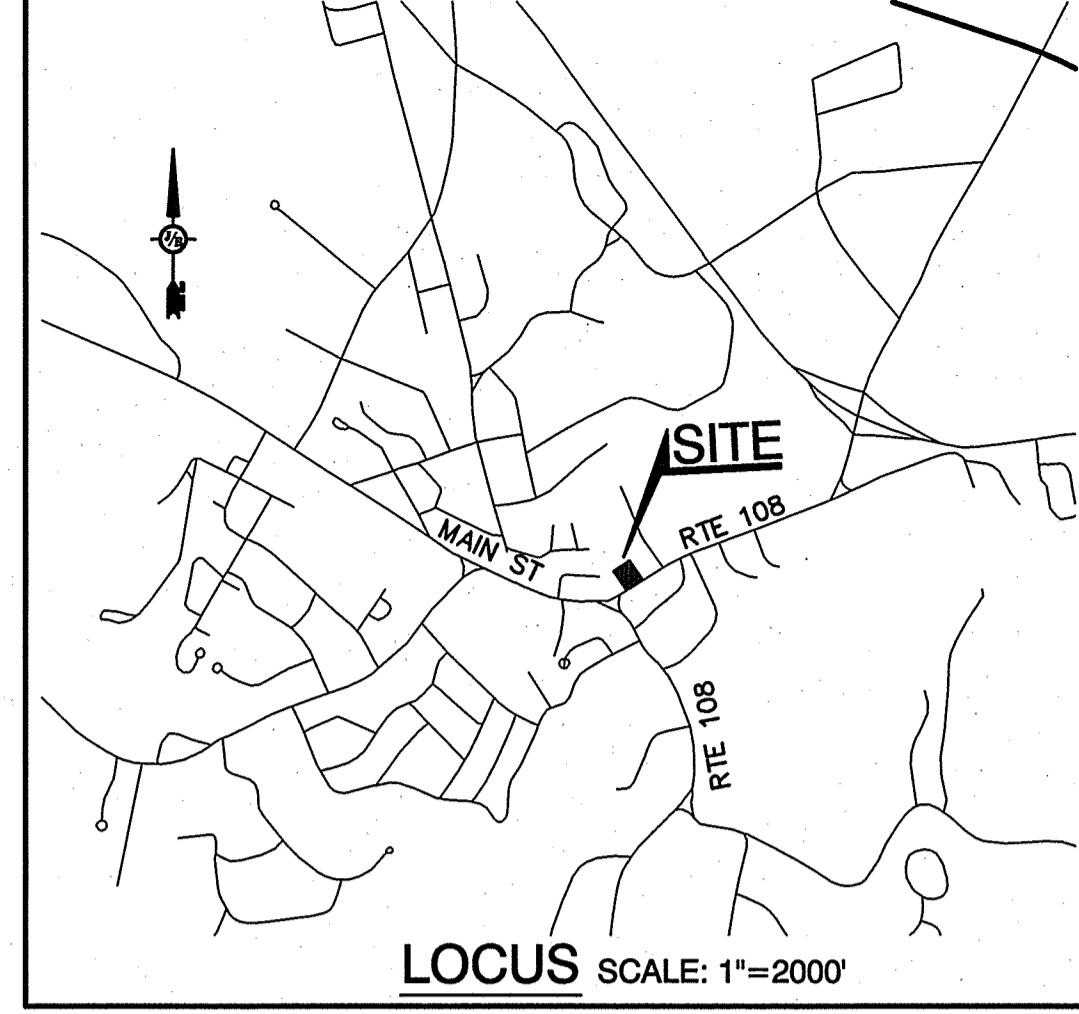


GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
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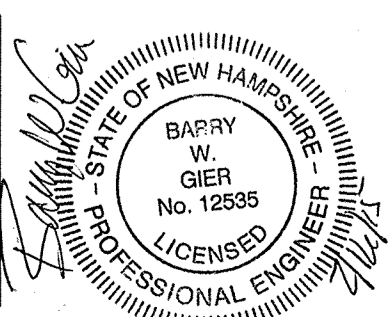
DEMOLITION NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND GRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
- ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
- ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS. IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
- EXISTING WATERLINES AND HYDRANTS TO BE REMOVED SHALL BE CAPPED AT PROPERTY LINE.
- EXISTING GAS SERVICE LINES ARE TO BE REMOVED ON-SITE UP TO EXISTING GAS MAIN LINES OR VALVES.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONTAMINATED MATERIAL LOCATED IN THE AREA OF EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUB-BASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
- SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
- THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
- CONTRACTOR SHALL HAVE THE OPTION TO REMOVE DRAINAGE/SEWER STRUCTURES, OR REMOVE MANHOLE FRAME AND GRATE/COVER TO A MINIMUM OF 36" BELOW FINISH GRADE, FRACTURE BOTTOM AND FILL WITH COMPACTED BORROW.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- EXISTING SANITARY SEWER LINE AND STRUCTURES LOCATED WITHIN THE EXISTING SEWER EASEMENTS SHALL BE MAINTAINED OR MODIFIED AS NOTED ON PLANS. SEWER LINES SHALL BE DISCONNECTED IN ACCORDANCE WITH LOCAL STANDARDS AND REGULATIONS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
- EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.



PROJECT PARCEL TOWN OF DURHAM TAX MAP 4, LOT 49
OWNER CUMBERLAND FARMS, INC. 100 CROSSING BLVD, V 1015 FRAMMINGHAM, MA 01702 BK 1095, PG 35
TOTAL LOT AREA 11,279 SQ. FT. 0.25 ACRES

Design: BWG Draft: GPC Date: 05/30/14
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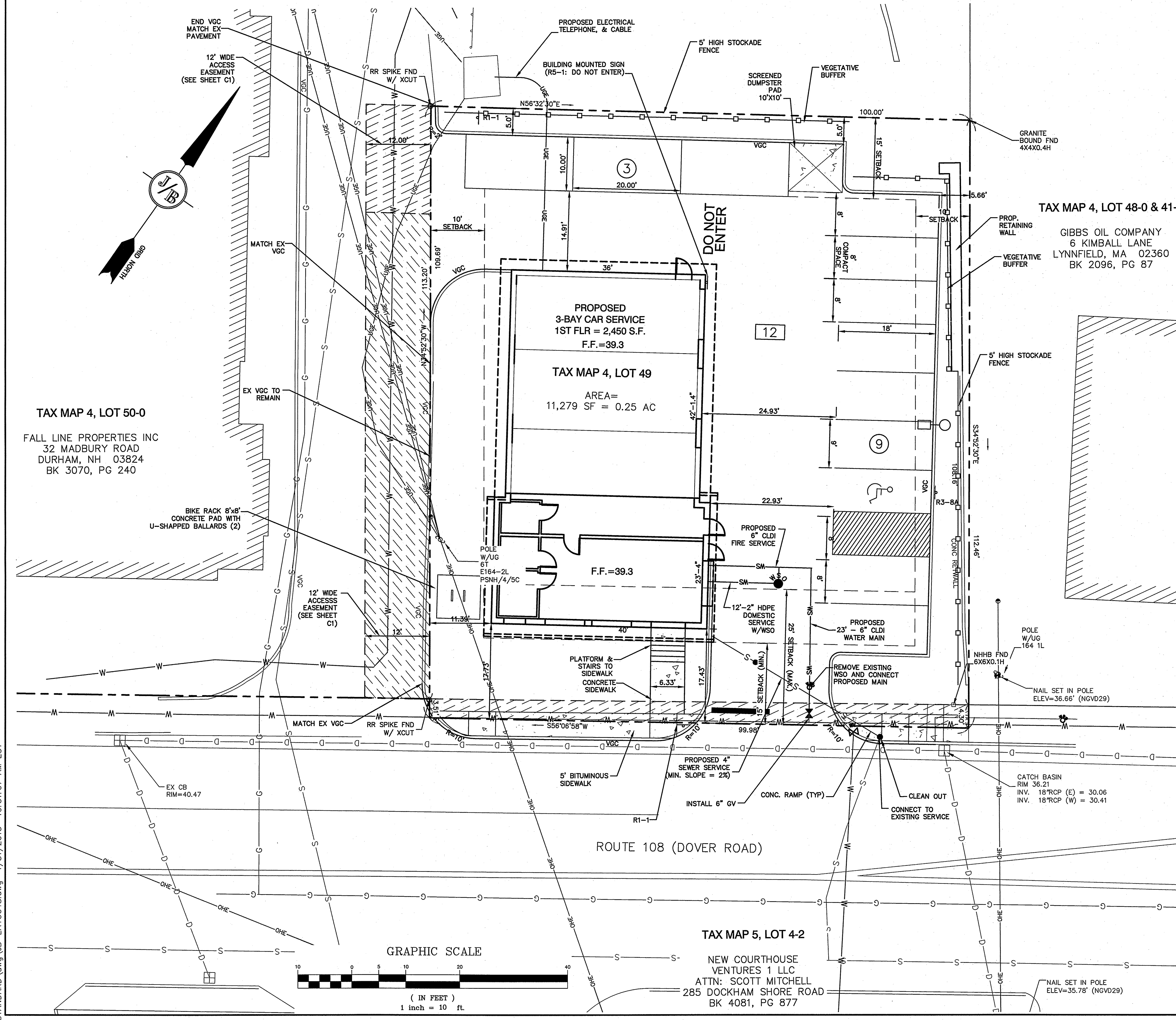
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 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DEMOLITION PLAN
Project:	3-BAY CAR SERVICE 3 DOVER ROAD, ROUTE 108, DURHAM, NH
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.
C2
SHEET 3 OF 10
JBE PROJECT NO. 14011

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- SITE NOTES:**
- THE INTENT OF THIS PLAN IS TO REMOVE EXISTING STRUCTURES AS SHOWN, AND CONSTRUCT A THREE BAY AUTOMOTIVE SERVICE STATION, WITH ASSOCIATED PARKING AND UTILITIES.
 - ZONING DISTRICT: COURTHOUSE
 REQUIRED: 5,000 SF
 PROPOSED: 11,279 SF
 LOT AREA: 50' x 50' = 2,500 SF
 LOT FRONTAGE: 50'
 BUILDING SETBACKS: 25' (MAX.) 15' (MIN.)
 FRONT SETBACK: 15'
 SIDE SETBACK: 10'
 REAR SETBACK: 15'
 MAX. BUILDING HEIGHT: 30'
 IMPERVIOUS SURFACE RATIO: 80% 71.4%
 - PARKING CALCULATIONS:
 3 SPACES PER BAY AND 1 SPACE PER 1 EMPLOYEE.
 PROPOSED = 3 BAYS + 3 EMPLOYEES
 TOTAL SPACES REQUIRED = 12
 TOTAL SPACES PROVIDED = 12
 - TOTAL ON-SITE IMPERVIOUS AREA = 8,051 S.F.
 - THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESSEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
 - ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
 - ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
 - ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
 - ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
 - ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
 - ALL CURBING TO BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
 - ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
 - SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
 - ROOF TOP HEATING AND AIR CONDITIONING UNITS (RTU's) SHALL BE DESIGNED TO VENT UPWARDS AND AIR INTAKES SHALL BE DIRECTED AWAY FROM ADJUTING NEIGHBORS.
 - DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
 - ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRAVITE BOUND
---	---	TEST PIT
---	---	MONITORING WELL
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	SINGLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	GUARDRAIL
---	---	CONCRETE
---	---	EASEMENT
---	---	SINGLE POST SIGN
---	---	BENCHMARK

TRAFFIC CONTROL SCHEDULE

SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1	NO LEFT TURN	30" 30"	RED / SILVER	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8	ACCESSIBLE	12" 24"	BLUE & GREEN ON WHITE	CHANNEL	5'-0"	REFLECTORIZED SIGN
R7-8A	VAN	12" 6"	BLUE & GREEN ON WHITE	CHANNEL	5'-0"	REFLECTORIZED SIGN

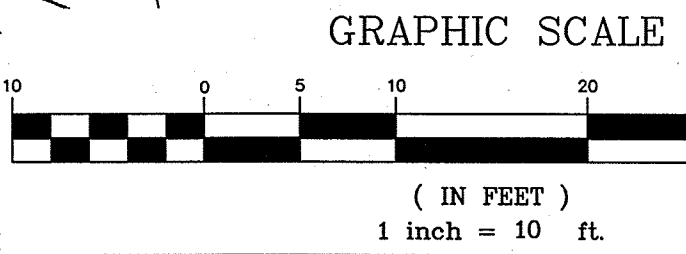
*MOUNTING HEIGHT IS BOTTOM OF SIGN

TAX MAP 4, LOT 50-0
 FALL LINE PROPERTIES INC
 32 MADBURY ROAD
 DURHAM, NH 03824
 BK 3070, PG 240

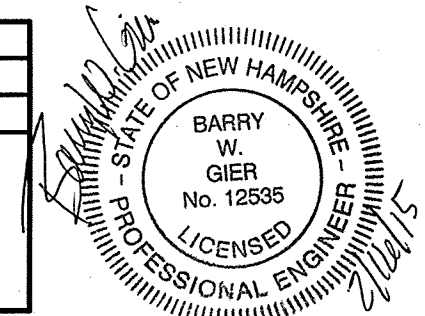
TAX MAP 4, LOT 48-0 & 41-2
 GIBBS OIL COMPANY
 6 KIMBALL LANE
 LYNNFIELD, MA 02360
 BK 2096, PG 87

TAX MAP 4, LOT 49
 AREA = 11,279 SF = 0.25 AC

TAX MAP 5, LOT 4-2
 NEW COURTHOUSE
 VENTURES 1 LLC
 ATTN: SCOTT MITCHELL
 285 DOCKHAM SHORE ROAD
 BK 4081, PG 877



Design: BWG Draft: GPC Date: 05/30/14
 Checked: WGM Scale: 1"=10' Project No.: 14011
 Drawing Name: 14011-PLAN.dwg
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1	11/04/14	REVISED PER TRC COMMENTS	BWG
0	08/27/14	ISSUED FOR REVIEW	GPC

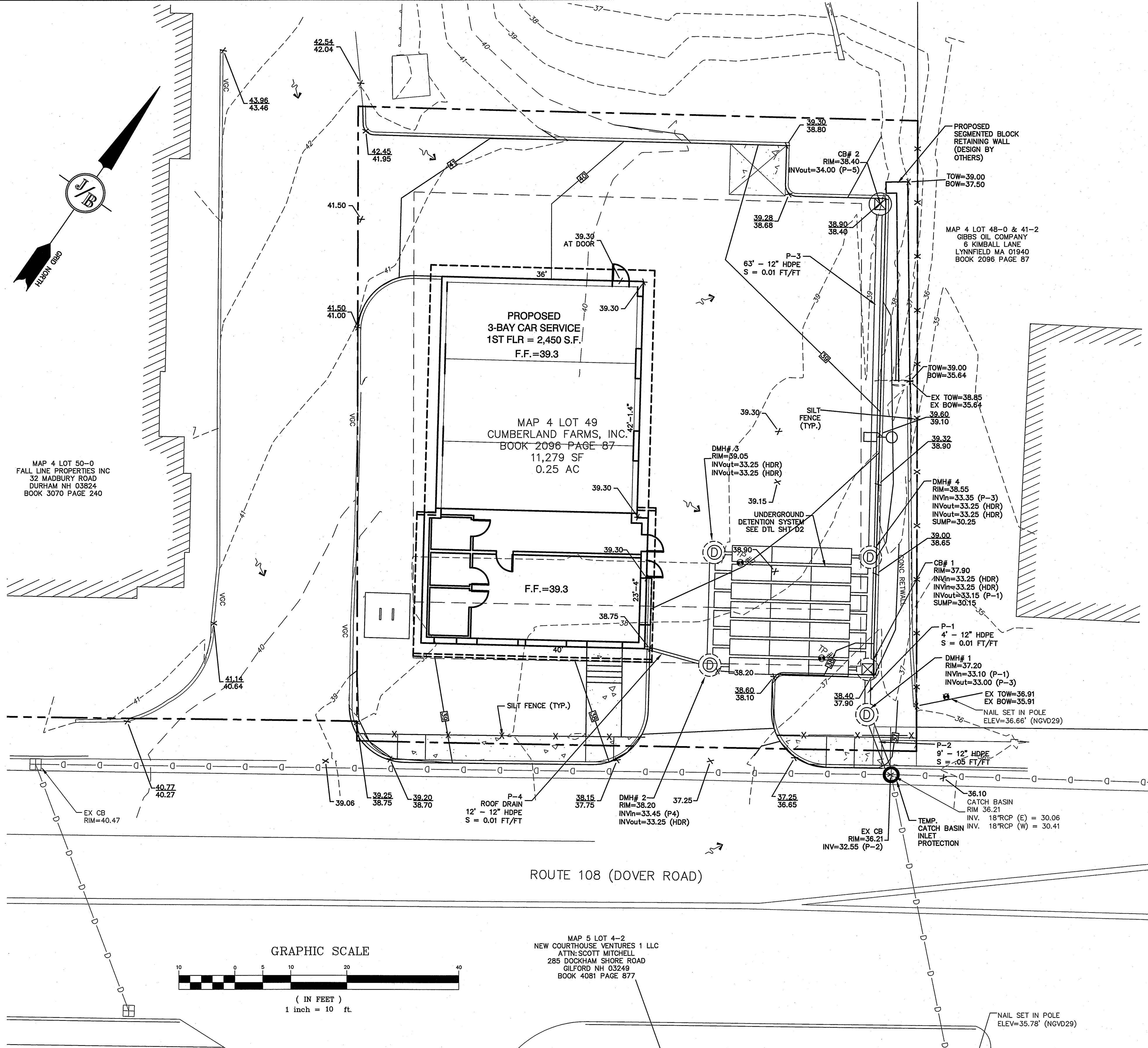
Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE & UTILITY PLAN**
 MAP 4, LOT 49
 Project: **3-BAY CAR SERVICE**
3 DOVER ROAD, ROUTE 108, DURHAM, NH
 Applicant: **TROPIC STAR DEVELOPMENT, LLC**
 321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No. **C3**
 SHEET 4 OF 10
 JBE PROJECT NO. 14011

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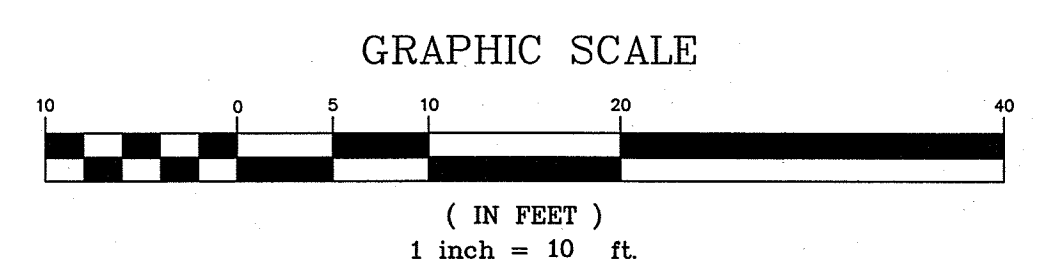


GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- VERTICAL DATUM: NGVD 29.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- DETENTION BASIN AND CONTRIBUTING AREA ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THE DETENTION BASIN.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET D2 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL, UNLESS OTHERWISE SPECIFIED.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	TEST PIT
---	---	MONITORING WELL
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	SINGLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	GUARDRAIL
---	---	CONCRETE
---	---	EASEMENT
---	---	DRAINAGE FLOW DIRECTION
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK
---	---	SILT FENCE



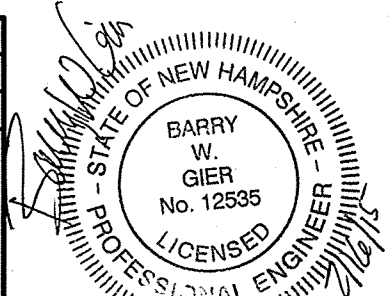
PROJECT PARCEL
TOWN OF DURHAM
TAX MAP 4, LOT 49

OWNER
CUMBERLAND FARMS, INC.
100 CROSSING BLVD, V 1015
FRAMMINGHAM, MA 01702
BK 1095, PG 35

TOTAL LOT AREA
11,279 SQ. FT.
0.25 ACRES

Design: BWG Draft: GPC Date: 05/30/14
Checked: WGM Scale: 1"=10' Project No.: 14011
Drawing Name: 14011-PLAN.dwg

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1	11/04/14	REVISED PER TRC COMMENTS	BWG
0	08/27/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING AND DRAINAGE PLAN**

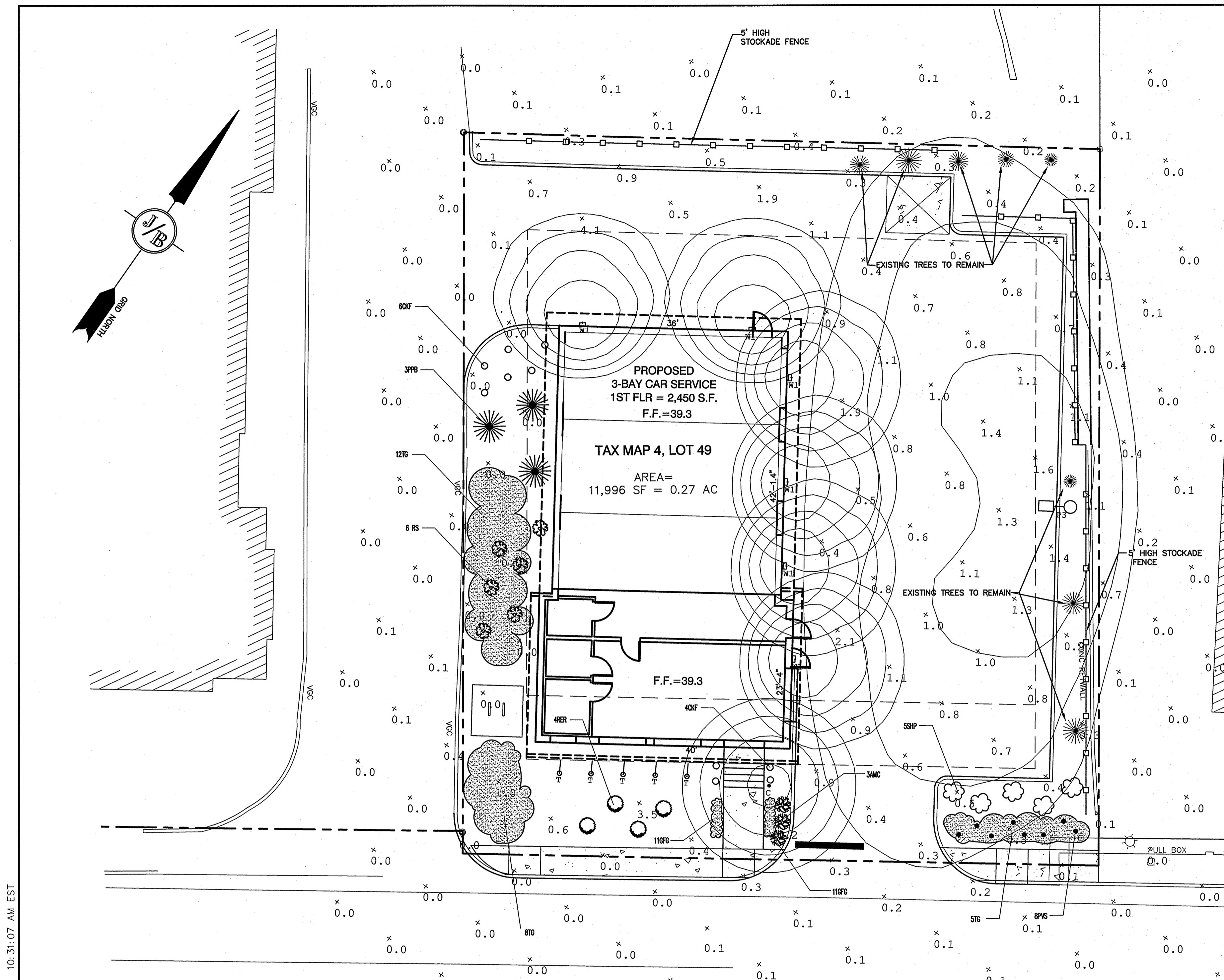
Project: **3-BAY CAR SERVICE
3 DOVER ROAD, ROUTE 108, DURHAM, NH**

Applicant: **TROPIC STAR DEVELOPMENT, LLC
321D LAFAYETTE ROAD, HAMPTON, NH 03842**

DRAWING No. **C4**

SHEET 5 OF 10
JBE PROJECT NO. 14011

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PLANTING SCHEDULE			
SYMBOL	QTY	COMMON NAME/BOTANICAL NAME	SIZE
AMC	3	AMELANCHIER CANADENSIS / SERVICE BERRY	5'-6"
PVS	8	PANICUM VIRGATUM 'SHENANDOAH' / PURPLE FOLIAGE SWITCH GRASS	#1 CONTAINER
TG	25	TAKUS C. GREENWAVE / GREENWAVE YEW	18"-24"
KCF	10	CALMAGROSTIS 'KARL FOERSTER' / FEATHER REED GRASS	#1 CONTAINER
PPB	3	PICEA PUNGENS 'BAKER' / BAKER BLUE SPRUCE	7'
RS	6	RHODODENDRON 'STEWARTSTONIAN' / STEWARTSTONIAN AZALEA	30"
HTP	4	HYDRANGEA PANICULATA 'TICKLED PINK' / TICKLED PINK HYDRANGEA	3'
RER	4	RHODODENDRON 'ENGLISH ROSEUM' / ENGLISH ROSEUM RHODODENDRON	5'
GFG	22	RUBECKIA FULGIDA 'GOLDSTRUM' / GOLDSTRUM BLACK-EYED SUSAN	QT CONTAINER
SHP	5	SYRINGA HYACINTHIFLORA 'POCAHONTAS' / POCAHONTAS LILAC	6'

EXISTING		PROPOSED		DESCRIPTION
				CONCRETE FENCE
				TREES AND BUSHES
				LIGHT POLES

GENERAL LEGEND				
				CONCRETE FENCE
				TREES AND BUSHES
				LIGHT POLES

McGRAW-EDISON

LIGHT SYMBOL P3

DESCRIPTION: The Talon is the most versatile, functionally designed, omnidirectional LED luminaire available. Incorporating advanced LED LightBARK™ technology, Talon brings outstanding uniformity and omnidirectional illumination to walkways, parking lots, roadways, building areas, and any security lighting application. UL Listed for wet locations.

SPECIFICATION FEATURES:

- Construction: One-piece heavy-duty, die-cast aluminum construction with integral recessed channel along top surface of housing. Optimized for reliable operation from 40°C down to -40°C. Internal cast-in-place separate optical and electrical chambers allowing components to operate cooler. Stainless steel poles and longer allow for bracket spacing and removal of door frame.
- Optics: Choice of three (3) patented, high-efficiency AccuLED Optics™ manufactured from injection-molded acrylic. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED optics create consistent distribution with the scalability of most commercial application requirements. Talon optics feature quick disconnect wiring plug and are field-replaceable in 90° increments allowing repositioning of distribution independent of fixture position. Offroad standard.
- Mounting: The Talon is designed to be mounted from existing conduit and tool room for attachment of factory pre-installed mounting hardware. Offroad standard with the Cooper Lighting proprietary drop mounting designed to withstand 100V transient line surge. 30% human minimums exposed at 60,000 hours. LightBARK™ features on 100% enclosure rating.
- Mounting: The Talon is designed to be mounted from existing conduit and tool room for attachment of factory pre-installed mounting hardware. Offroad standard with the Cooper Lighting proprietary drop mounting designed to withstand 100V transient line surge. 30% human minimums exposed at 60,000 hours. LightBARK™ features on 100% enclosure rating.

FINISH: Housing and arm finished in a Satin Super TIG™ powder coated steel. 2.5 mil nominal thickness for superior protection against salt and wear. Standard colors include black, bronze, grey, white, dark charcoal, and graphite metallic. RAL and custom color finishes available. Coordinate with McGraw-Edison Architectural Color System for the complete solution.

WARRANTY: Five-year warranty.

ENERGY DATA:

4000K (A, 2700 CCT and nominal 70 CRI)	100W	10000lm
5000K (A, 3000 CCT and nominal 70 CRI)	100W	10000lm

SHIPPING DATA: Approximate Net Weight: 42 lbs. GSI 1001.

LUMARK

LIGHT SYMBOL W1

DESCRIPTION: The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural wall mount lighting, energy efficient LED. The low profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment makes the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for walkways, footcandle and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, landfills, schools, stadiums and loading docks.

SPECIFICATION FEATURES:

- Construction: Sixteen (16) LED design with rugged end cap, die-cast aluminum construction with integral recessed channel along top surface of housing. Matching housing design allows for easy installation and removal. The Crosstour wall luminaire is available in 120V and 277V. The long housing is available in 30" and 48" lengths. The Crosstour luminaire allows for easy installation and removal. The Crosstour luminaire is available in 120V and 277V. The long housing is available in 30" and 48" lengths.
- Optics: Crosstour is provided with a custom designed optical lens that provides high efficiency illumination. The Crosstour luminaire is available in 120V and 277V. The long housing is available in 30" and 48" lengths.
- Mounting: Crosstour luminaire is available in 120V and 277V. The long housing is available in 30" and 48" lengths.

FINISH: Crosstour is provided with a custom designed optical lens that provides high efficiency illumination. The Crosstour luminaire is available in 120V and 277V. The long housing is available in 30" and 48" lengths.

WARRANTY: Five-year warranty.

ENERGY DATA:

4000K (A, 2700 CCT and nominal 70 CRI)	100W	10000lm
5000K (A, 3000 CCT and nominal 70 CRI)	100W	10000lm

SHIPPING DATA: Approximate Net Weight: 17.5 lbs. GSI 1001.

TMSLIGHTING

Sign 7 Floodlight

DESCRIPTION: The Sign 7 Floodlight (LED) incorporates McGraw-Edison™ technology to create an ultra-low profile surface mounting luminaire designed for installation in residential and fire-rated 2", 3", and 4" junction boxes, along with surface, recessed, and commercial installations. Ideal for closets, storage areas, utility and basements. Complies with NFPA 70, NEC Section 410.16 (A)(3) and 410.16 (C).

SPECIFICATION FEATURES:

- Construction: Die cast aluminum trim ring, and die formed aluminum frame.
- Optics: WaveStream™ technology provides uniform luminance from a low profile flat lens.
- Mounting: Cooper Lighting provides a five year limited warranty on the LED.
- LED Chromaticity: A 5-point chromaticity specification ensures LED color uniformity, adjustable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED.
- LED Chromaticity: A 5-point chromaticity specification ensures LED color uniformity, adjustable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED.

RECESSED HOUSING MOUNTING:

- Note: SLD is not for use in recessed housing in direct contact with spray foam insulation per NEMA LED 87-2012.
- Recessed Housing: The recessed housing is designed to be mounted to a wall, where the resulting 60° bend places the reflector in an ideal position to illuminate tall signage below - close to the sign, yet unobstructive to view. The standard thread size is 1/2" NPT, and 3/4" NPT is available for mounting in utility areas, or for specific applications where extra support is necessary.

Mounting: The Sign 7 Floodlight is designed to be mounted perpendicular to a wall, where the resulting 60° bend places the reflector in an ideal position to illuminate tall signage below - close to the sign, yet unobstructive to view. The standard thread size is 1/2" NPT, and 3/4" NPT is available for mounting in utility areas, or for specific applications where extra support is necessary.

Mounting: The Sign 7 Floodlight is designed to be mounted perpendicular to a wall, where the resulting 60° bend places the reflector in an ideal position to illuminate tall signage below - close to the sign, yet unobstructive to view. The standard thread size is 1/2" NPT, and 3/4" NPT is available for mounting in utility areas, or for specific applications where extra support is necessary.

HALO

6" Surface LED Floodlight

DESCRIPTION: The Halo LED Floodlight (LED) incorporates McGraw-Edison™ technology to create an ultra-low profile surface mounting luminaire designed for installation in residential and fire-rated 2", 3", and 4" junction boxes, along with surface, recessed, and commercial installations. Ideal for closets, storage areas, utility and basements. Complies with NFPA 70, NEC Section 410.16 (A)(3) and 410.16 (C).

SPECIFICATION FEATURES:

- Construction: Die cast aluminum trim ring, and die formed aluminum frame.
- Optics: WaveStream™ technology provides uniform luminance from a low profile flat lens.
- Mounting: Cooper Lighting provides a five year limited warranty on the LED.
- LED Chromaticity: A 5-point chromaticity specification ensures LED color uniformity, adjustable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED.
- LED Chromaticity: A 5-point chromaticity specification ensures LED color uniformity, adjustable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED.

RECESSED HOUSING MOUNTING:

- Note: SLD is not for use in recessed housing in direct contact with spray foam insulation per NEMA LED 87-2012.
- Recessed Housing: The recessed housing is designed to be mounted to a wall, where the resulting 60° bend places the reflector in an ideal position to illuminate tall signage below - close to the sign, yet unobstructive to view. The standard thread size is 1/2" NPT, and 3/4" NPT is available for mounting in utility areas, or for specific applications where extra support is necessary.

Mounting: The Halo LED Floodlight is designed to be mounted perpendicular to a wall, where the resulting 60° bend places the reflector in an ideal position to illuminate tall signage below - close to the sign, yet unobstructive to view. The standard thread size is 1/2" NPT, and 3/4" NPT is available for mounting in utility areas, or for specific applications where extra support is necessary.

PARKING LOT AREA

Illuminance (Fc)

Average = 0.87

Maximum = 2.1

Minimum = 0.3

Avg/Min Ratio = 2.90

Max/Min Ratio = 7.00

Symbol	Qty	Label	Arrangement	Description
	1	C	SINGLE	SLD606830WH/ CANOPY LIGHT
	1	P3	SINGLE	TLM-B02-LED-E1-SL3/ 20' AFG
	1	T	SINGLE	7-M-1-COLOR
	5	W1	SINGLE	XTOR1A/ WALL MTD 9' AFG

GRAPHIC SCALE

10 5 0 5 10 20

(IN FEET)

1 inch = 10 ft.

Design: BWG	Draft: GPC	Date: 05/30/14
Checked: WGM	Scale: 1"=10'	Project No.: 14011
Drawing Name: 14011-PLAN.dwg		
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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746

FAX: 603-772-0227

E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LANDSCAPE & LIGHTING PLAN**

Project: **MAP 4, LOT 49**

Applicant: **3-BAY CAR SERVICE**

3 DOVER ROAD, ROUTE 108, DURHAM, NH

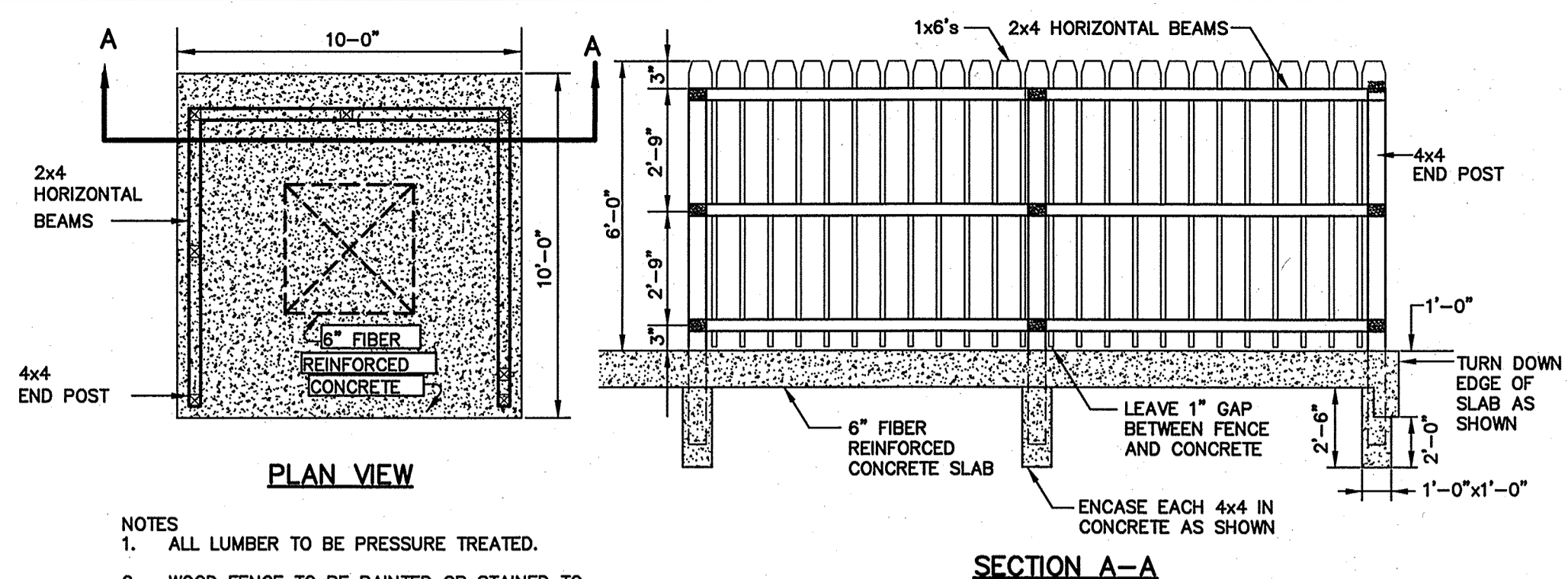
TROPIC STAR DEVELOPMENT, LLC

321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No. **L1**

SHEET 6 OF 10

JBE PROJECT NO. 14011

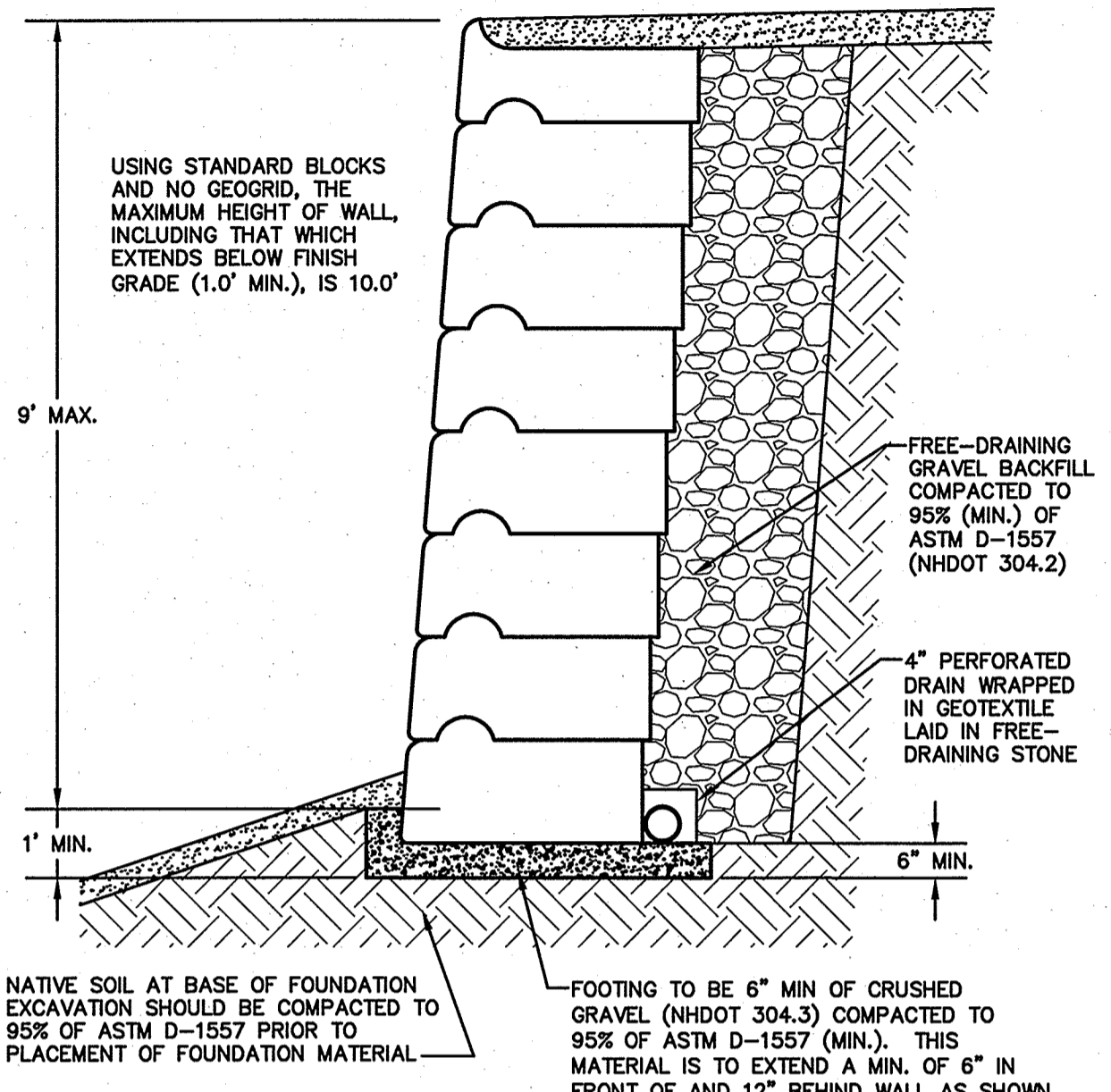


DUMPSTER SCREENING

NOT TO SCALE

UTILITY NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR TO PROVIDE UNDERDRAIN, AS NECESSARY, AT DISCRETION OF THE PROJECT ENGINEER.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA, CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H2O LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- SANITARY SEWER FLOW CALCULATIONS:
3 EMPLOYEES @ 35 GPD/EMPLOYEES
TOTAL FLOW = 105 GPD
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICH EVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- REFER TO FIRE PROTECTION SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING.
- FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM.
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIFE SAFETY CODE/NFPA 1 AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMUM PLACEMENT.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DIGSAFE BEFORE CONSTRUCTION.
- ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
- ENV-WQ 704.07 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 7 1/2% OF AVERAGE INSIDE DIAMETER.
- SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE, HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE). THIS RIGHT IS TO BE CONVEYED TO THE TOWN IN THE SITE'S DECLARATION OF CONDOMINIUM DOCUMENTS, AND IN ALL INDIVIDUAL DEEDS.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO USERS AT ALL TIMES. REQUIREMENTS BY THE TOWN WATER DEPARTMENT REGARDING NOTIFICATION FOR INTERRUPTION OF SERVICE SHOULD BE INCLUDED (TYPICALLY 24 HOURS) AND ALLOWABLE INTERRUPTION DURATION. WATER TESTING AND DISINFECTION REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN AND NHDES REGULATIONS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.



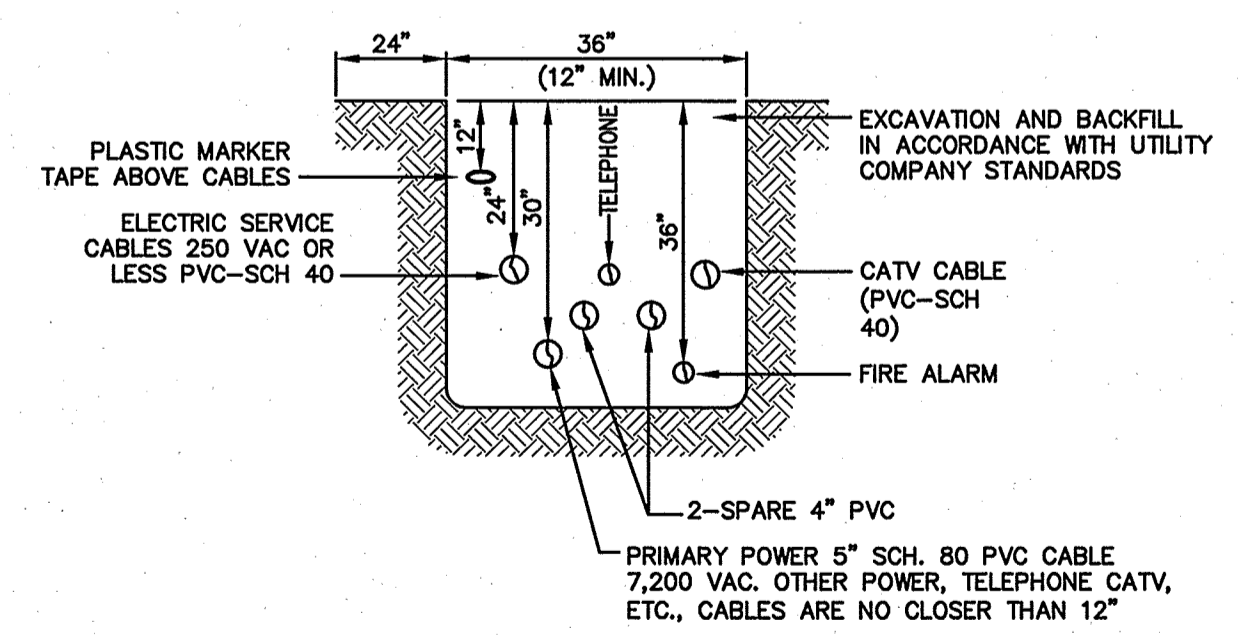
- PRE-FABRICATED WALL UNITS SHALL BE REDI-ROCK INTERNATIONAL AS PRODUCED BY A LICENSED MANUFACTURER, OR AN EQUIVALENT APPROVED IN WRITING BY THE CIVIL ENGINEER OF RECORD (JONES & BEACH ENGINEERS, INC.).
- THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A LICENSED STRUCTURAL ENGINEER TO DESIGN ANY WALL THAT HAS A HEIGHT OVER 4.0'. JONES & BEACH ENGINEERS, INC. DOES NOT ACCEPT ANY LIABILITY FOR THE STRUCTURAL DESIGN AND/OR INSTALLATION OF ANY RETAINING WALL OF ANY TYPE ABOVE THIS HEIGHT. THIS DETAIL IS INTENDED TO PROVIDE AN EXAMPLE OF THE RETAINING WALL FOR PLANNING PURPOSES ONLY AND IS SPECIFICALLY NOT INTENDED FOR USE BY THE CONTRACTOR IN ANY CONSTRUCTION-RELATED ACTIVITY.
- CONSTRUCTION OF THE RETAINING WALL(S) SHOULD FOLLOW THE SPECIFICATIONS OF REDI-ROCK INTERNATIONAL AND THE STRUCTURAL ENGINEER OF RECORD.
- RETAINING WALL-RELATED CORRESPONDENCE SHOULD BE DIRECTED TO:

REDI-ROCK INTERNATIONAL
05481 SOUTH U.S. 31
CHARLEVOIX, MICHIGAN 49720

T#: (231) 237-9500
F#: (231) 237-9521
www.redi-rock.com

REDI-ROCK INTERNATIONAL RETAINING WALL DETAIL (STANDARD BLOCKS W/ NO GEOGRID)

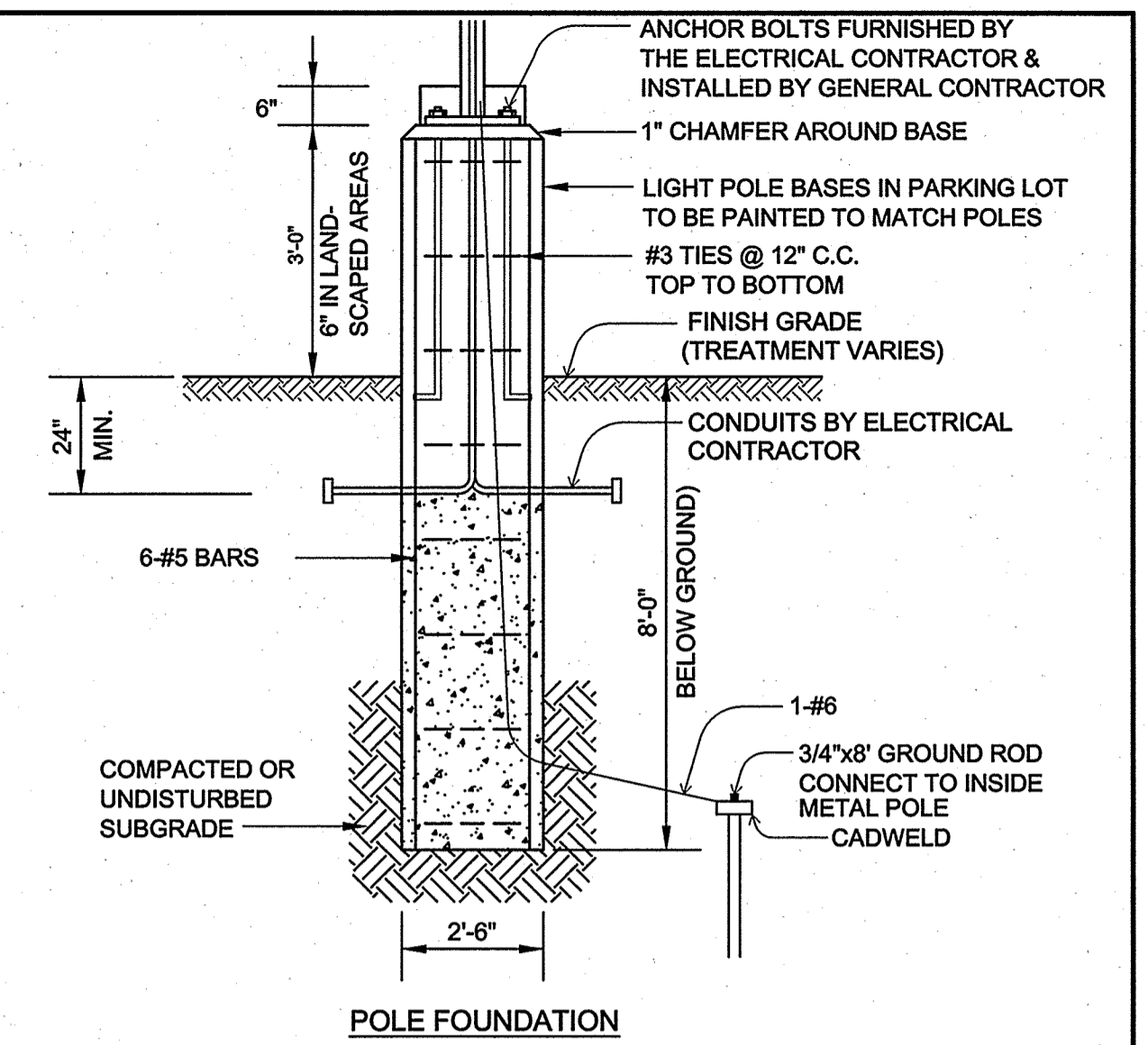
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

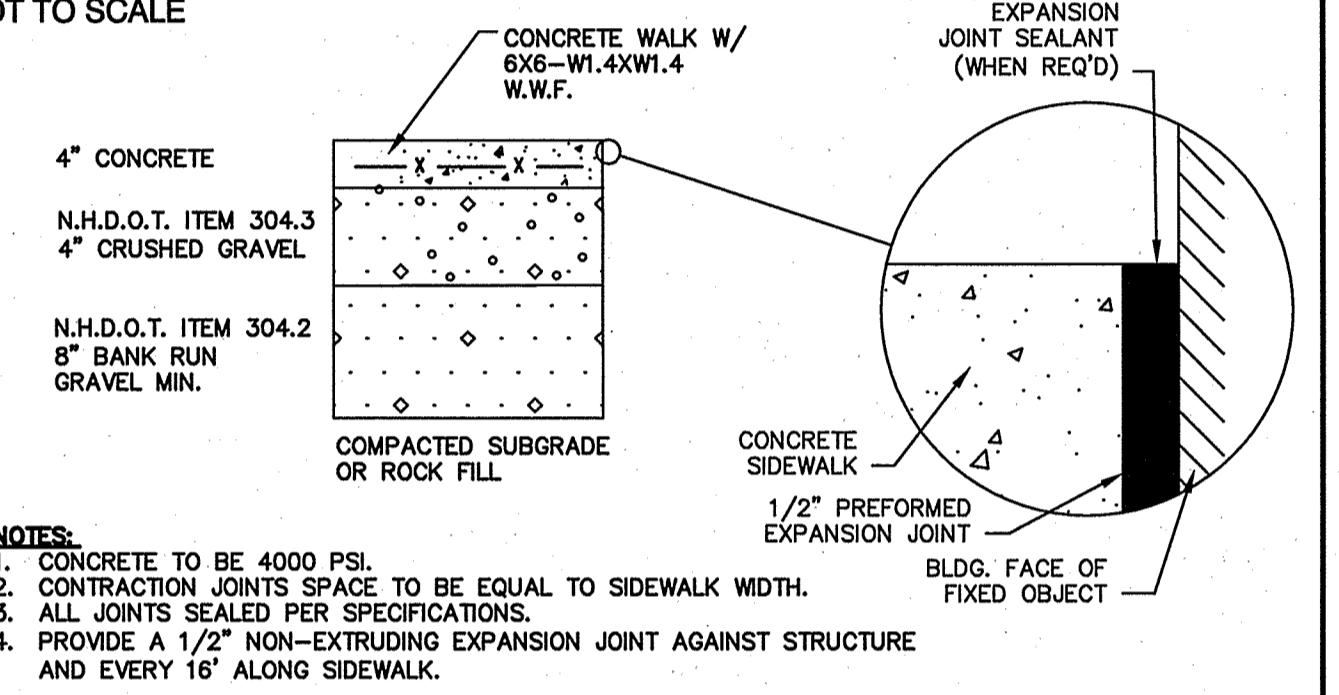
UTILITY TRENCH

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PARKING LOT LIGHT BASE

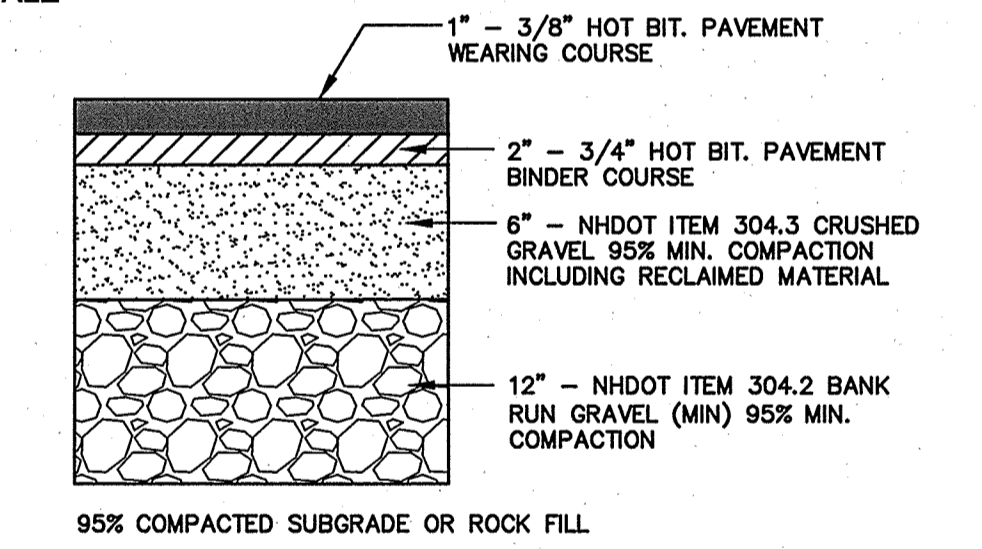
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- NOTES:**
- CONCRETE TO BE 4000 PSI.
 - CONSTRUCTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
 - ALL JOINTS SEALED PER SPECIFICATIONS.
 - PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.

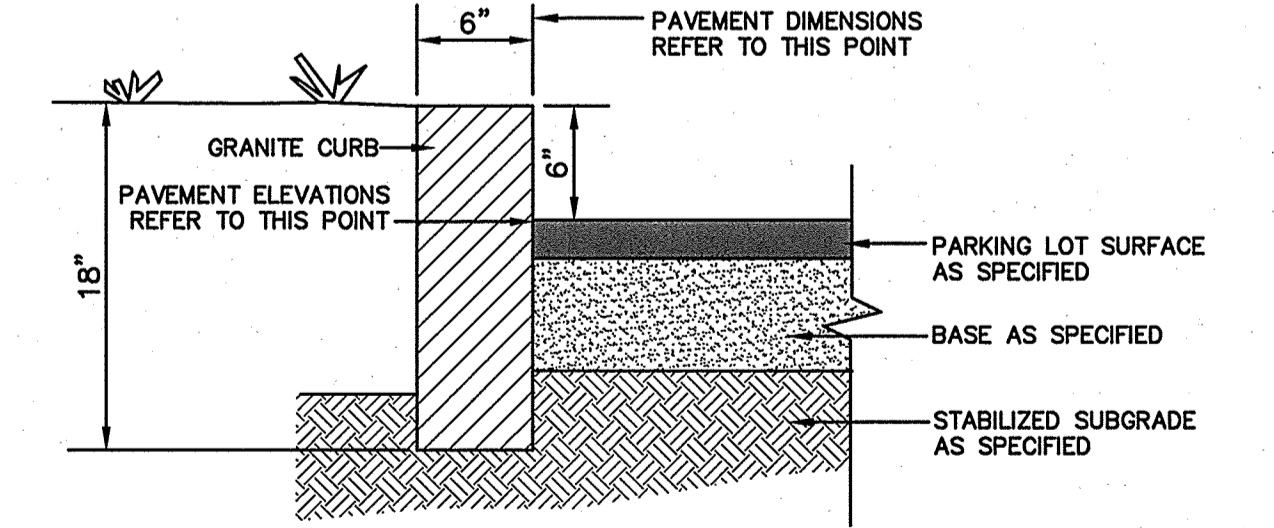
CONCRETE SIDEWALK

NOT TO SCALE



TYPICAL BITUMINOUS PAVEMENT

NOT TO SCALE



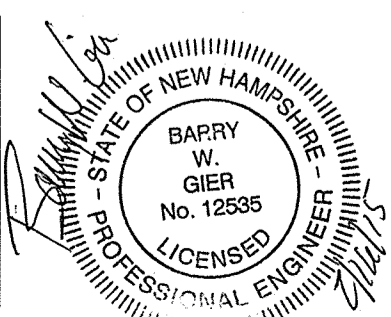
- NOTES:**
- JOINTS BETWEEN STONES SHALL BE MORTARED.
 - EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.

6" VERTICAL GRANITE CURB

NOT TO SCALE

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Design: BWG	Draft: GPC	Date: 05/30/14
Checked: WGM	Scale: AS NOTED	Project No.: 14011
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0	08/27/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	3-BAY CAR SERVICE 3 DOVER ROAD, ROUTE 108, DURHAM, NH
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

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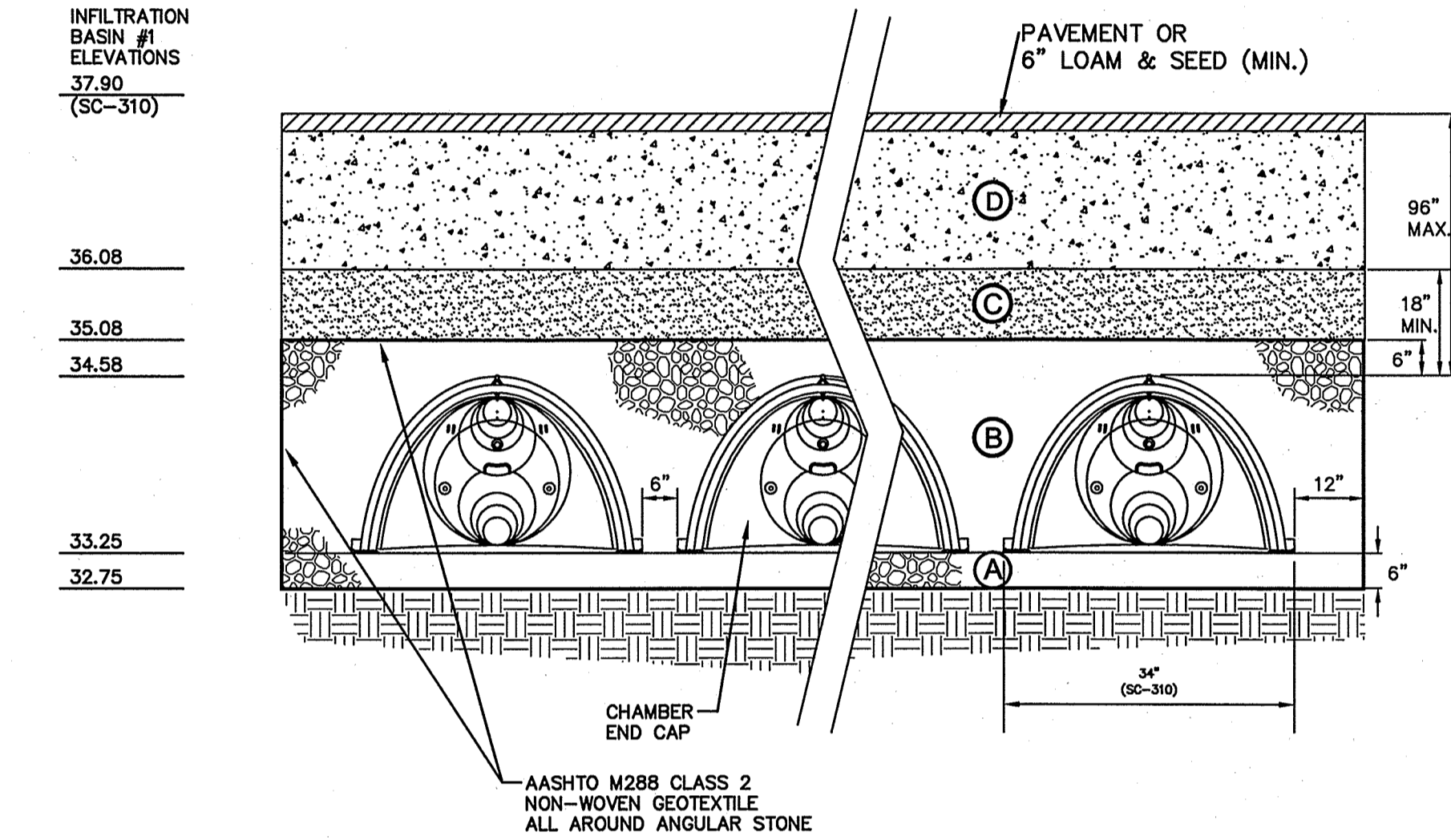
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SHEET 7 OF 10
JBE PROJECT NO. 14011

**ACCEPTABLE FILL MATERIALS
STORMTECH SC-310 AND SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(D) PAVEMENT SUBGRADE, DEPTH(S) PER SPECIFICATIONS	PAVEMENT SUBGRADE, MATERIALS PER SPECIFICATIONS	N/A	N/A	PREPARE PER SPECIFICATIONS AND PLANS. PAVED INSTALLATIONS HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C) FILL MATERIAL FROM 6" ABOVE CHAMBERS TO BOTTOM OF PAVEMENT SUBGRADE	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
(B) EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
(A) 6" FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

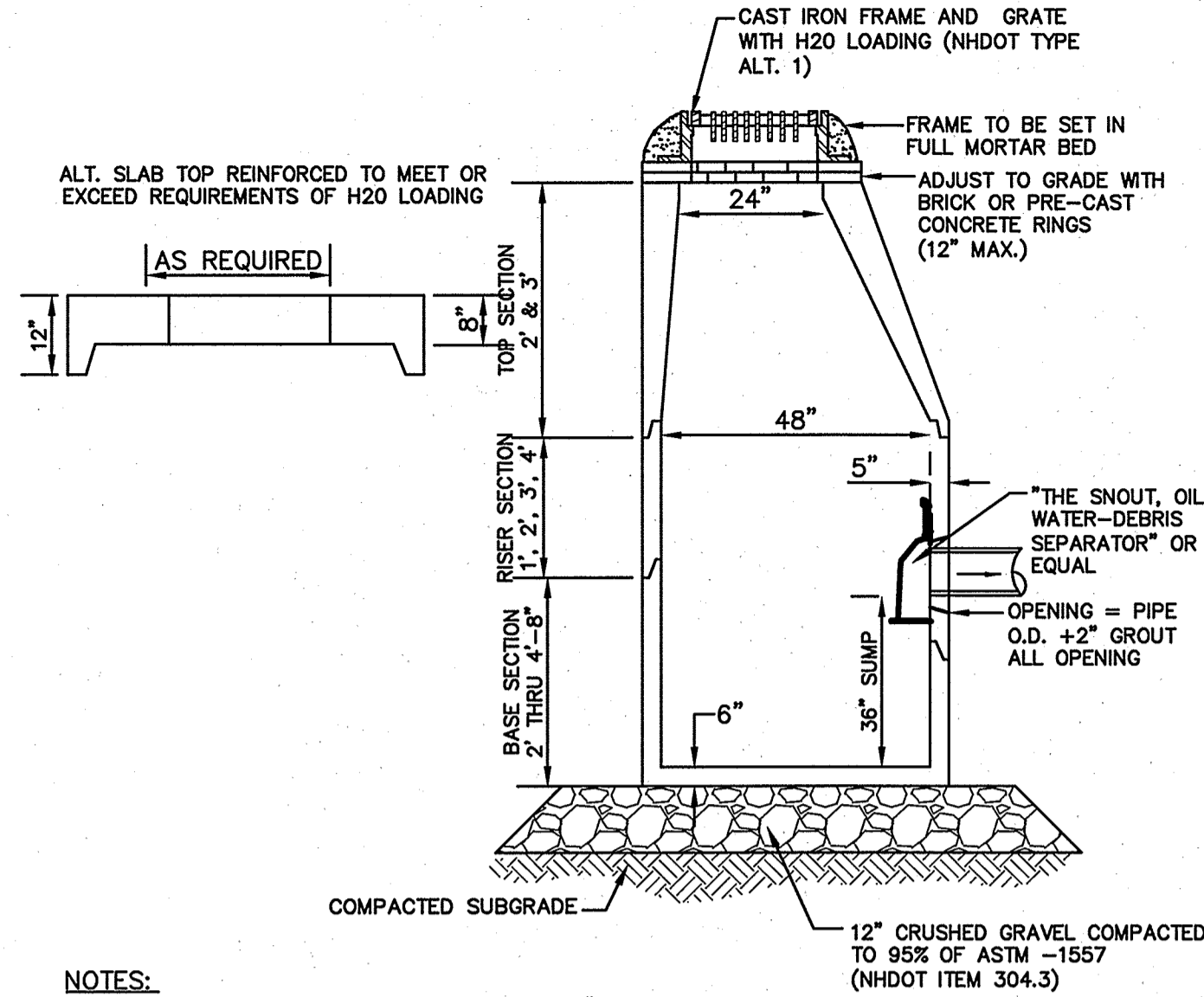


STORMTECH CHAMBER DETAIL

NOT TO SCALE

STORMTECH GENERAL NOTES

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICE DEPARTMENT OR LOCAL STORMTECH REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 860-529-8188 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.); MINIMUM COVER IS 24 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 6.5 FEET INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 6.5 FEET.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
- STORMTECH PRODUCT WARRANTY IS LIMITED. CONTACT STORMTECH FOR WARRANTY INFORMATION.

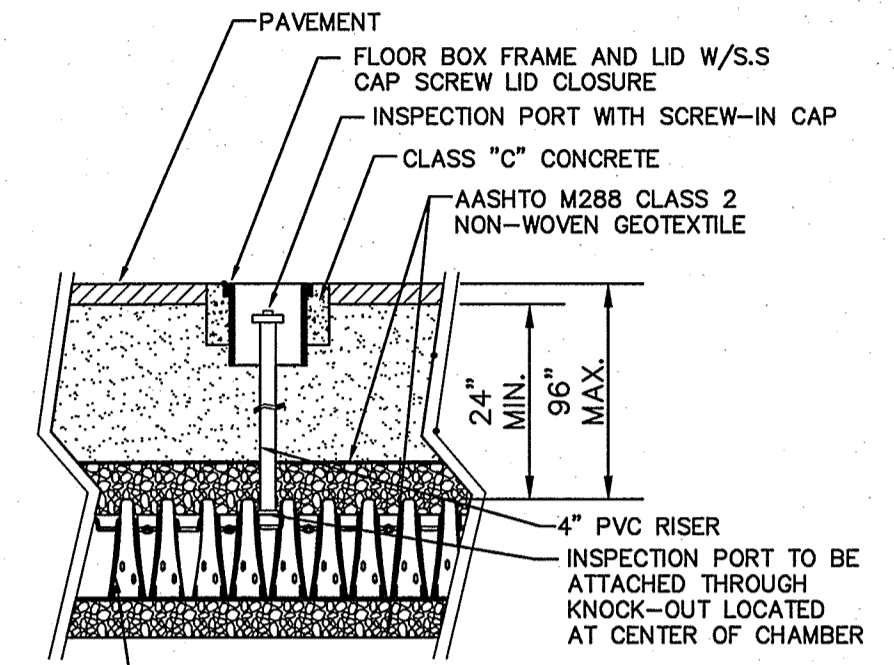


NOTES:

- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
- ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
- PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
- ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
- STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK OR MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.
- ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

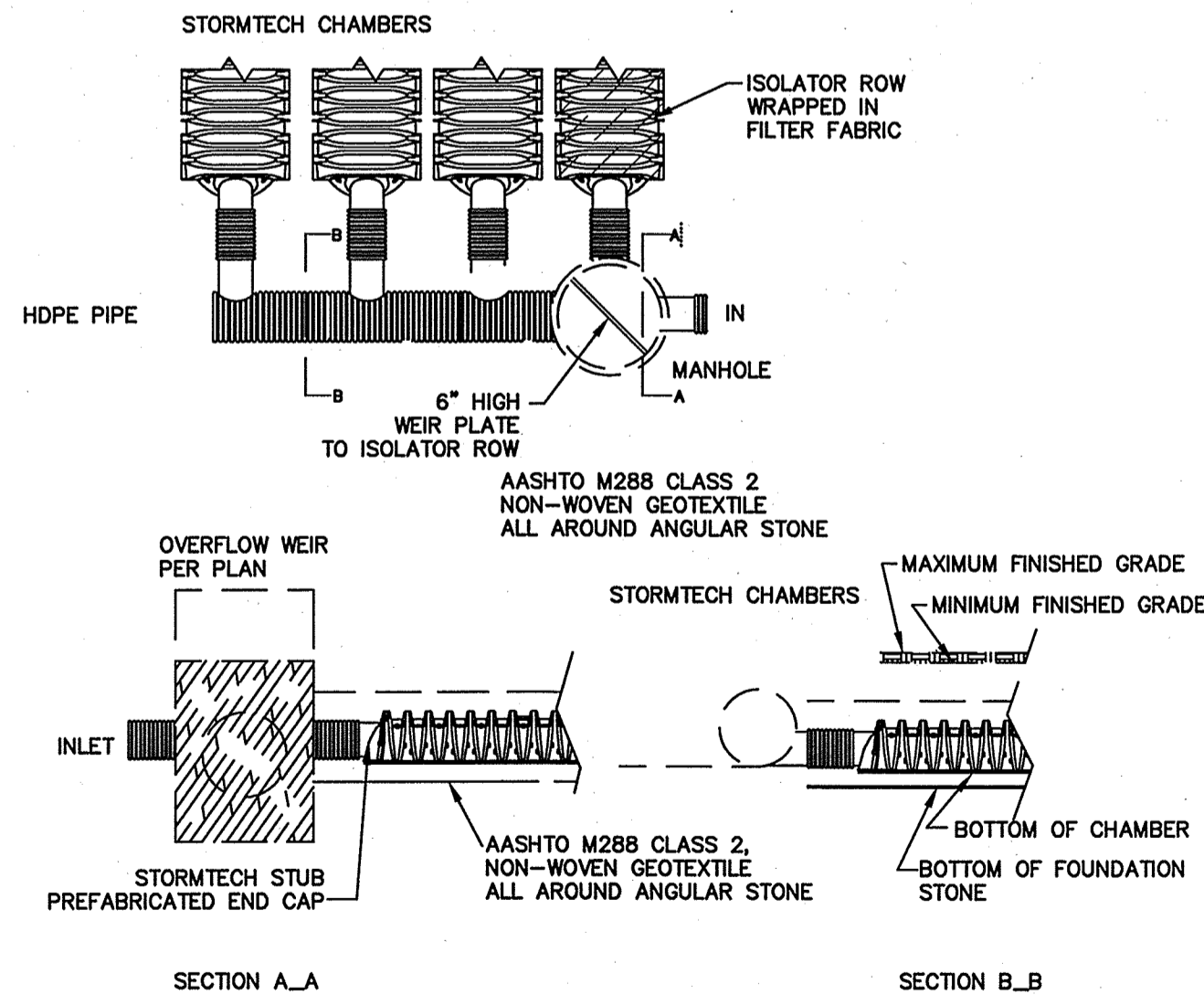
CATCH BASIN WITH GREASE HOOD

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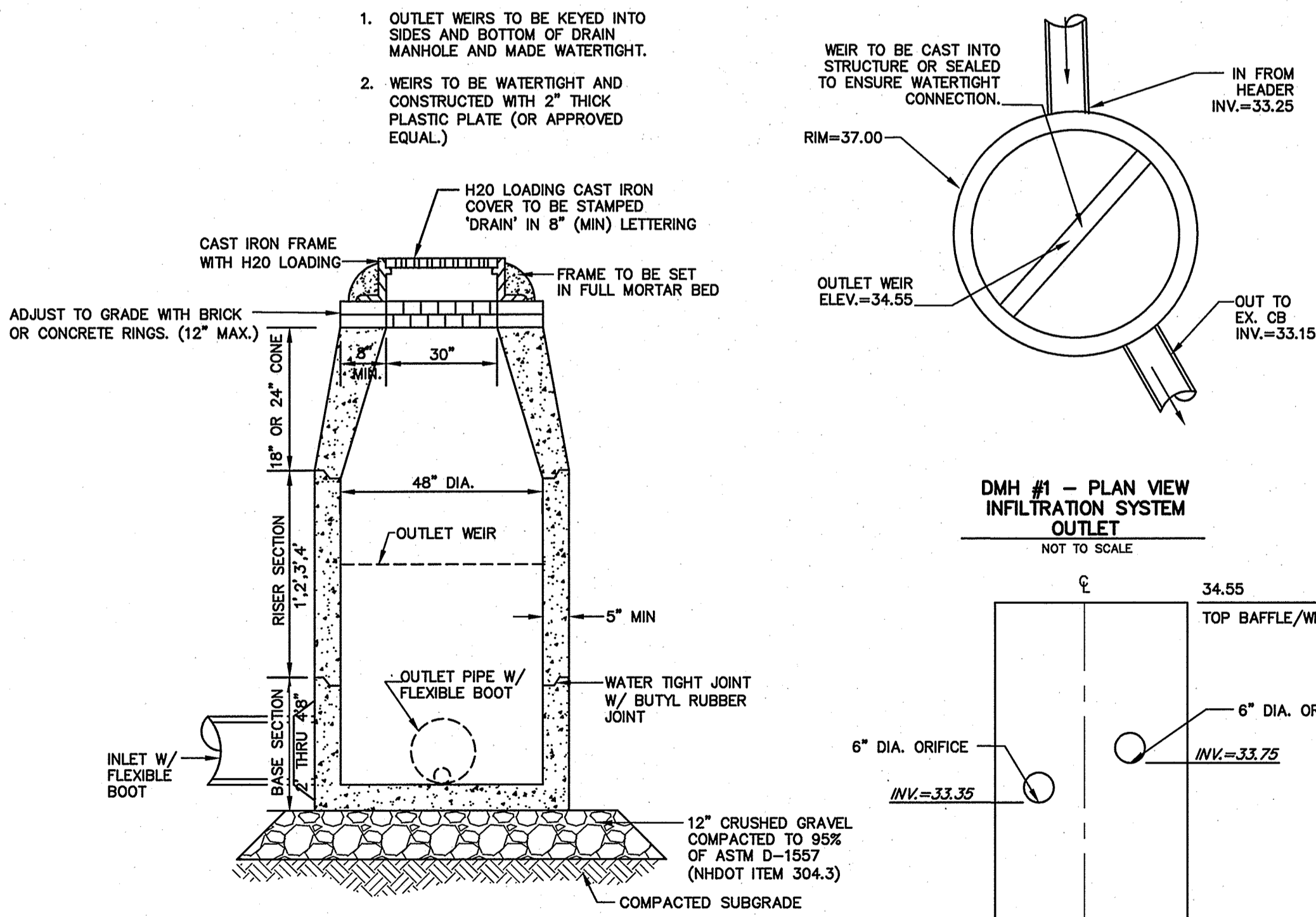
STORMTECH INSPECTION PORT DETAIL

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STORMTECH DETAIL FOR CHAMBERS

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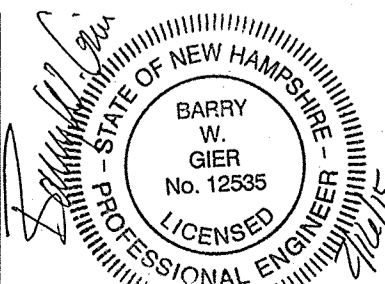


DRAIN MANHOLE WITH OUTLET WEIR: DMH #1

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Design: BWG	Draft: GPC	Date: 05/30/14
Checked: WGM	Scale: 1"=10'	Project No.: 14011
Drawing Name: 14011-PLAN.dwg		
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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

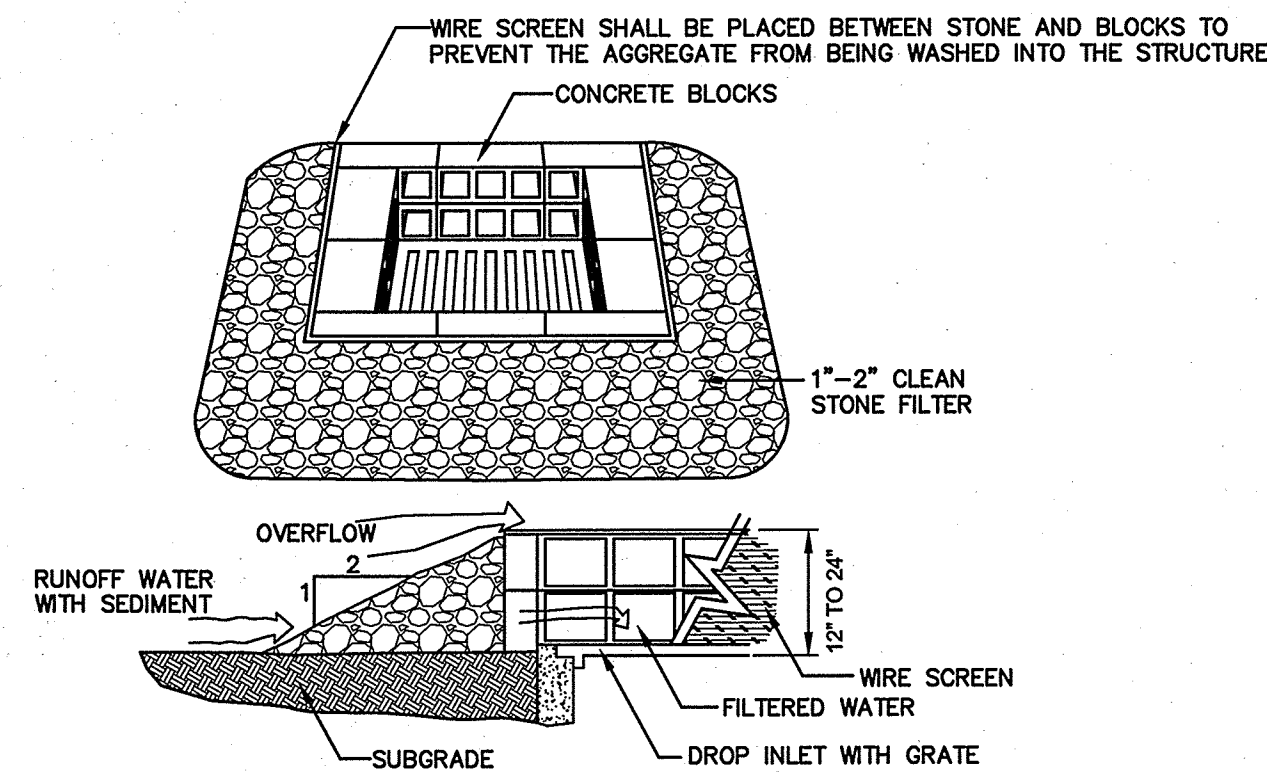
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
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Applicant:	TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

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D2

SHEET 8 OF 10
JBE PROJECT NO. 14011



MAINTENANCE NOTE:

1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION (Block and Gravel Drop Inlet Sediment Filter)

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SEEDING SPECIFICATIONS

1. **GRADING AND SHAPING**
 - A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. **SEEDBED PREPARATION**
 - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. **ESTABLISHING A STAND**
 - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - C. REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNVETCH, BIRDSFOOT, TREFILO AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
4. **MULCH**
 - A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
5. **MAINTENANCE TO ESTABLISH A STAND**
 - A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	B	GOOD	GOOD	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.
 1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.
 2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

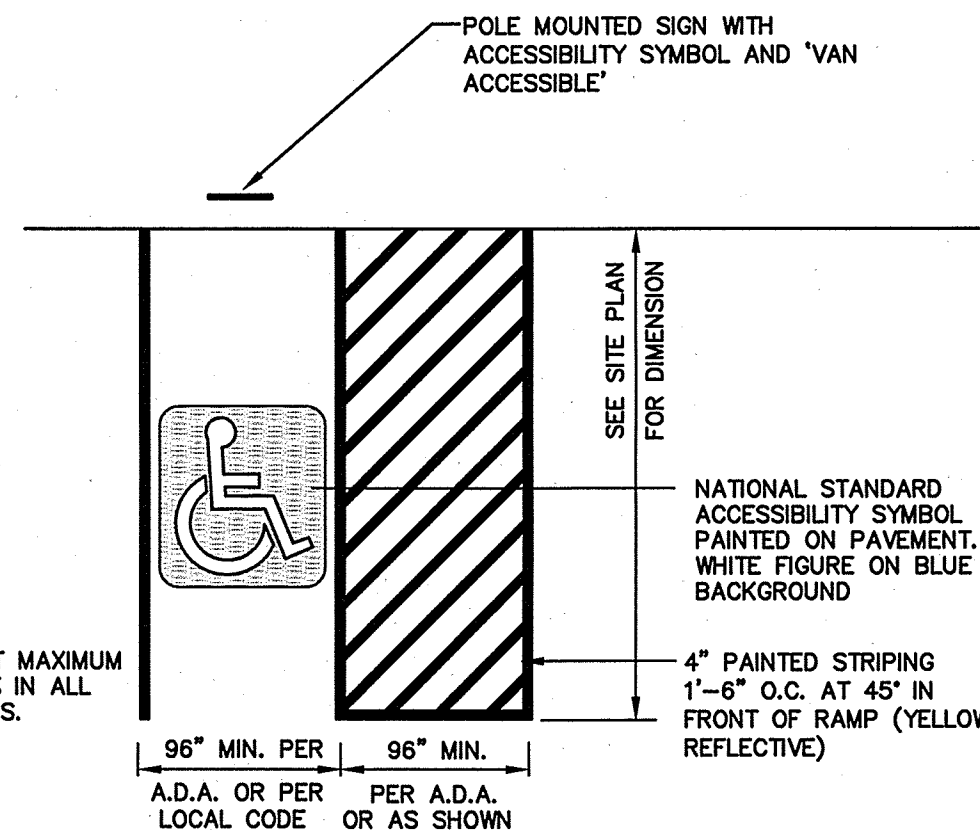
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH OR FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFILO	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

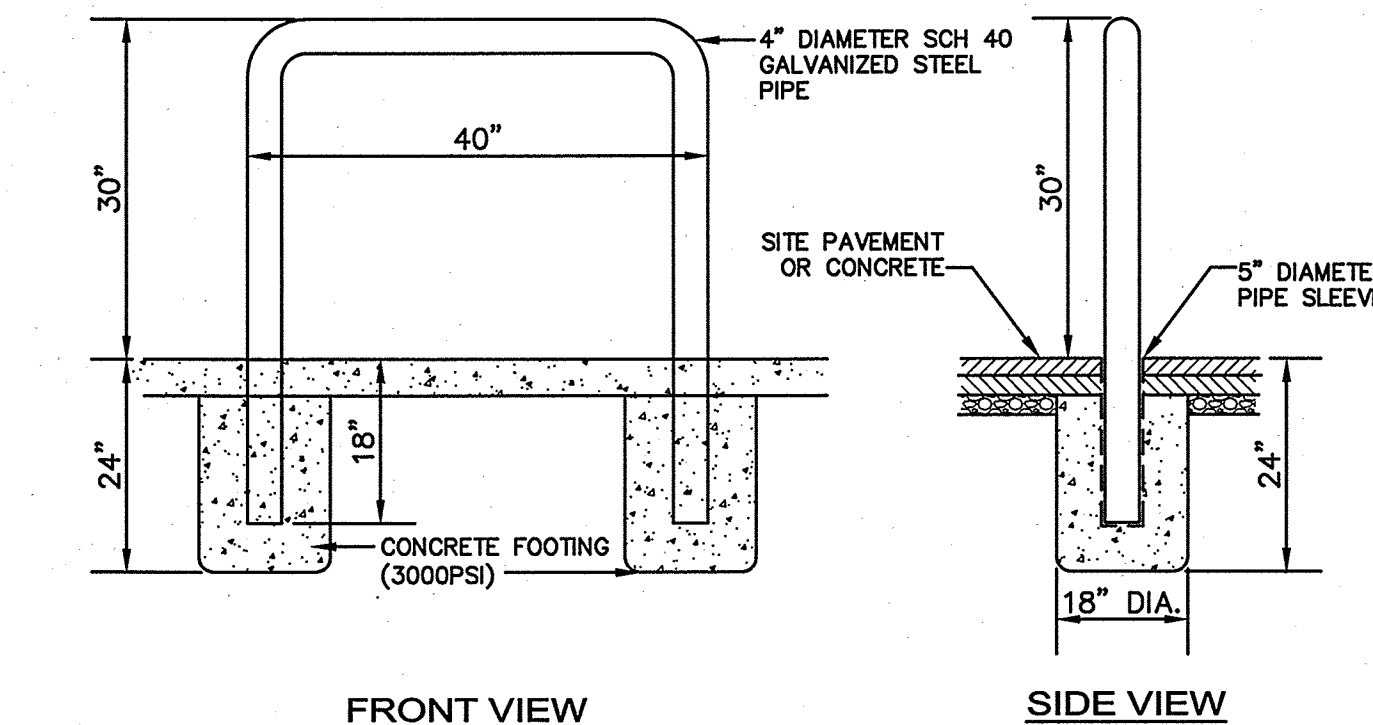
1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES



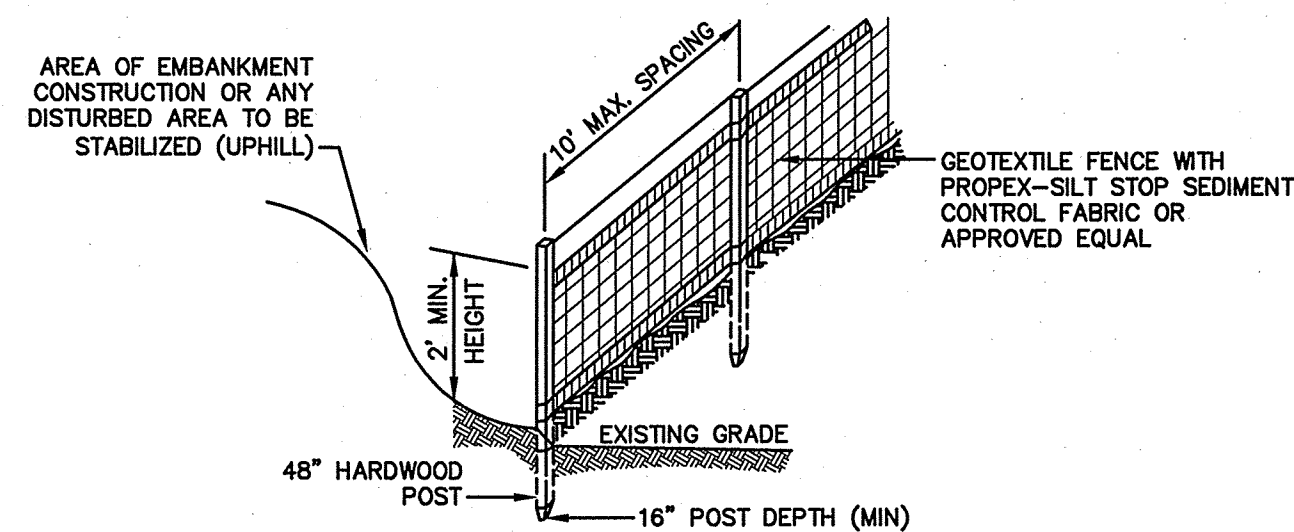
HANDICAP PARKING LAYOUT

NOT TO SCALE



U-SHAPED BOLLARD

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

1. WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
2. THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
5. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
6. SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE

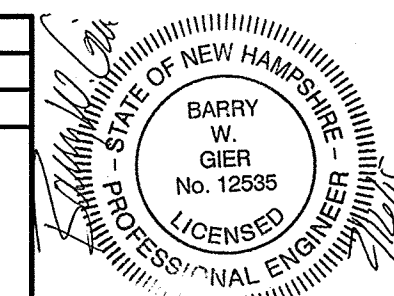
7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

F:\CADD\MASTER STANDARD.dwg\JB-LAYOUTS.dwg 1/31/2013 10:31:07 AM EST

Design: BWG	Draft: GPC	Date: 05/30/14
Checked: WGM	Scale: AS NOTED	Project No.: 14011
Drawing Name: 14011-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
2	02/11/15	REVISED PER PLANNING BOARD COMMENTS	EMP
1	11/04/14	REVISED PER TRC COMMENTS	BWG
0	08/27/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

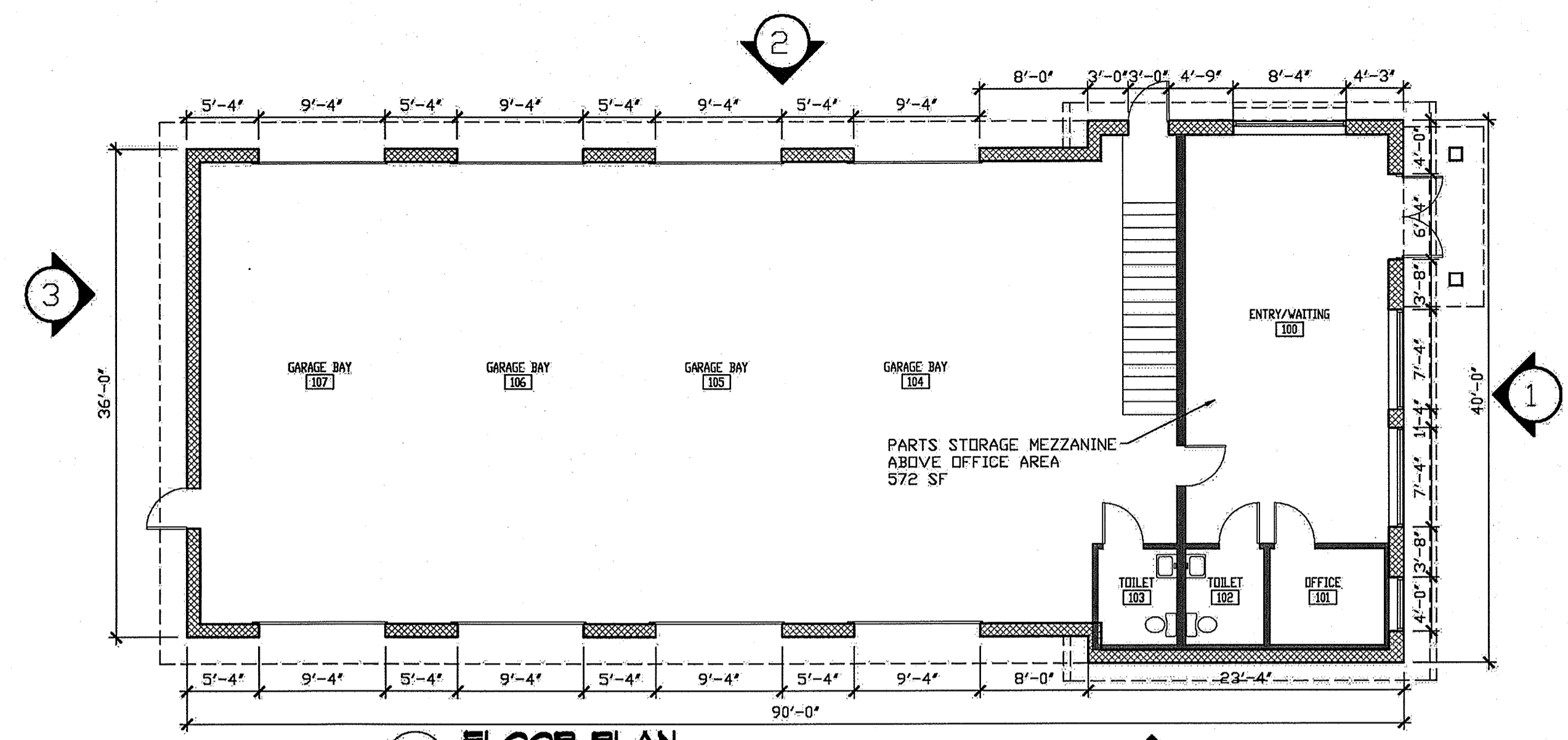
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	3-BAY CAR SERVICE 3 DOVER ROAD, ROUTE 108, DURHAM, NH
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

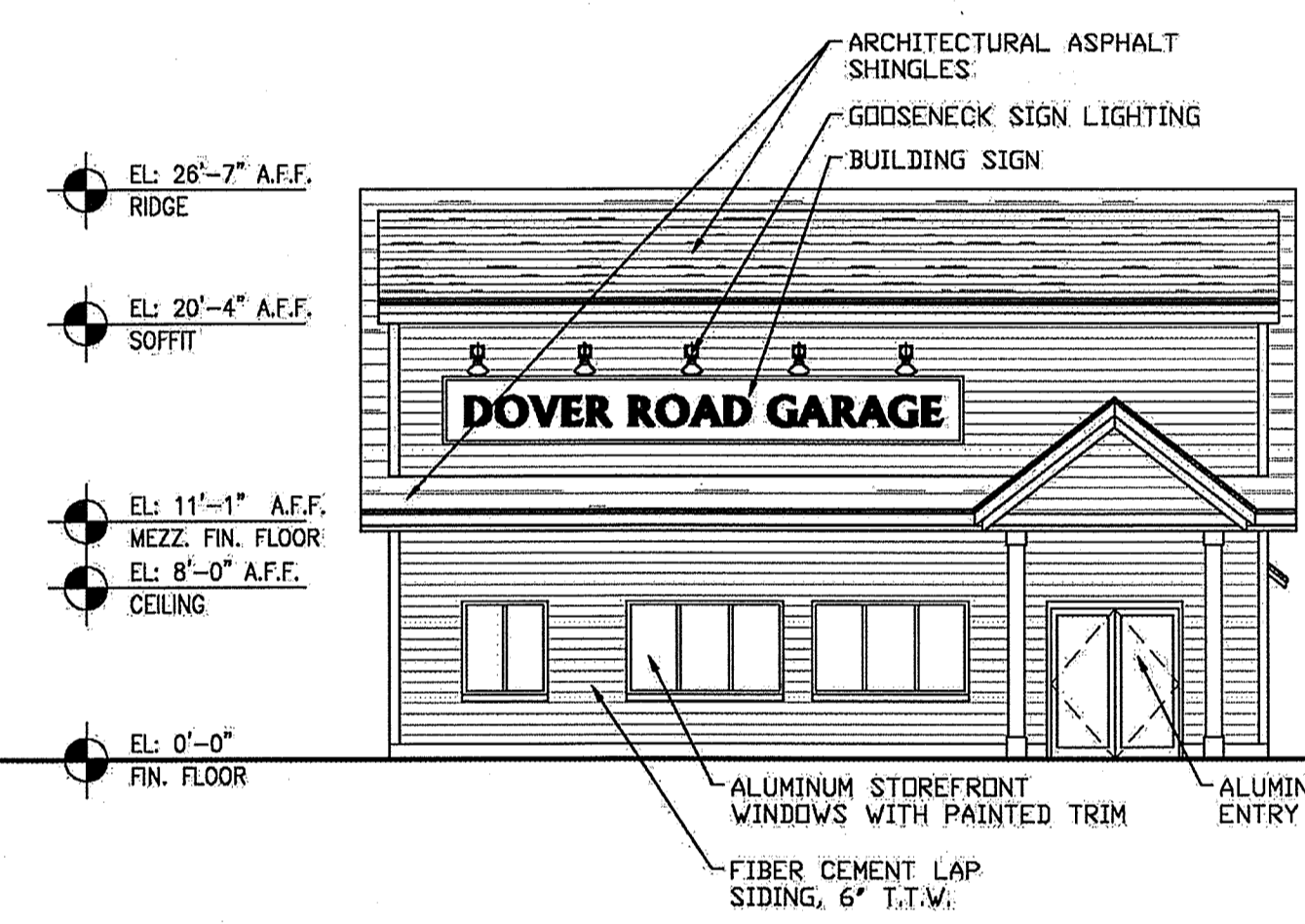
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E1

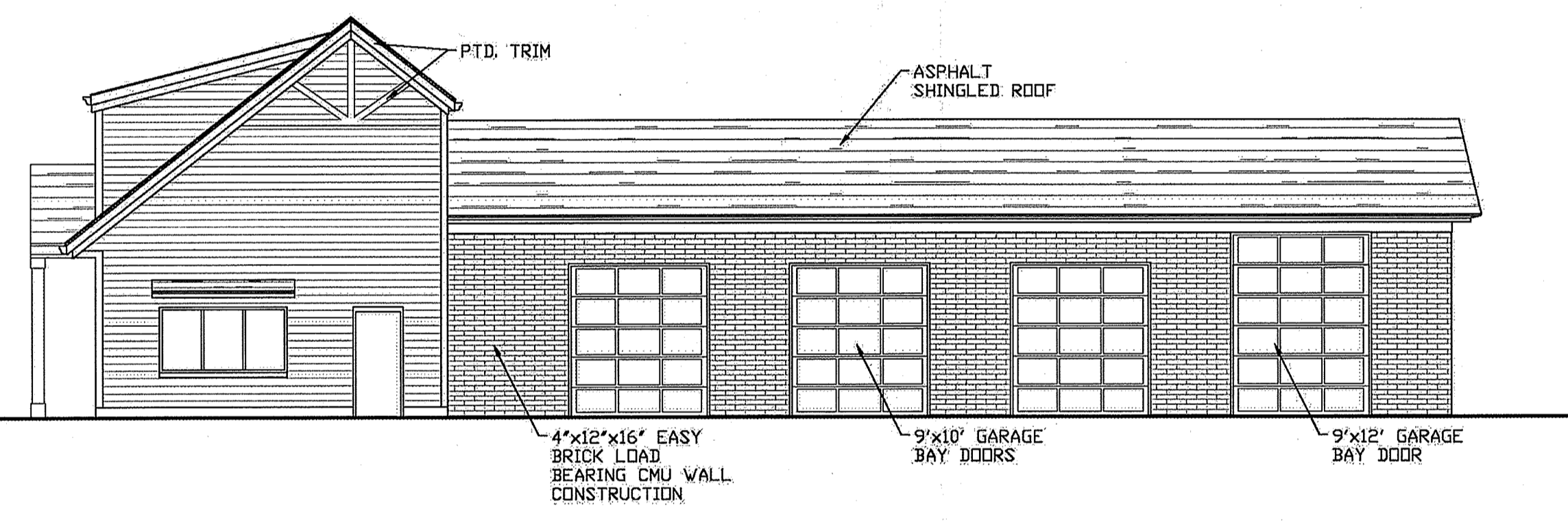
SHEET 9 OF 10
JBE PROJECT NO. 14011



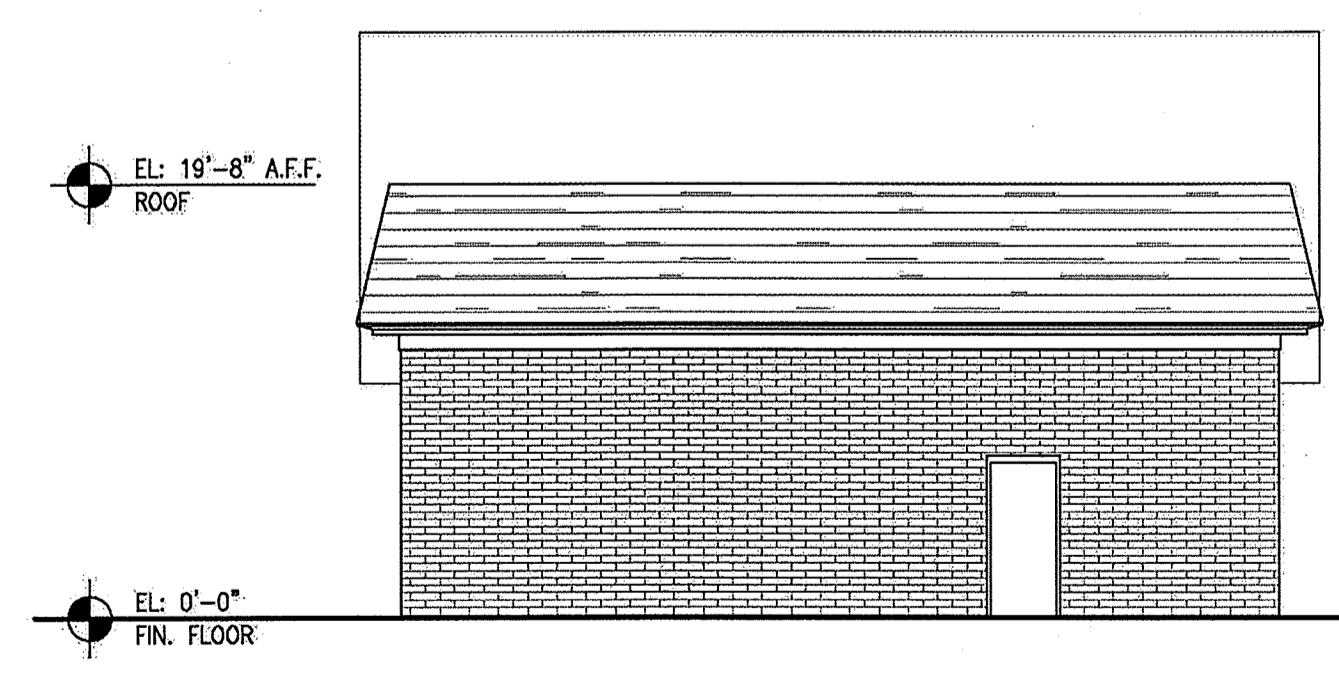
5 FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 2,435 SF (NET) GARAGE USE
 572 SF (NET) OFFICE
 3,333 SF GROSS



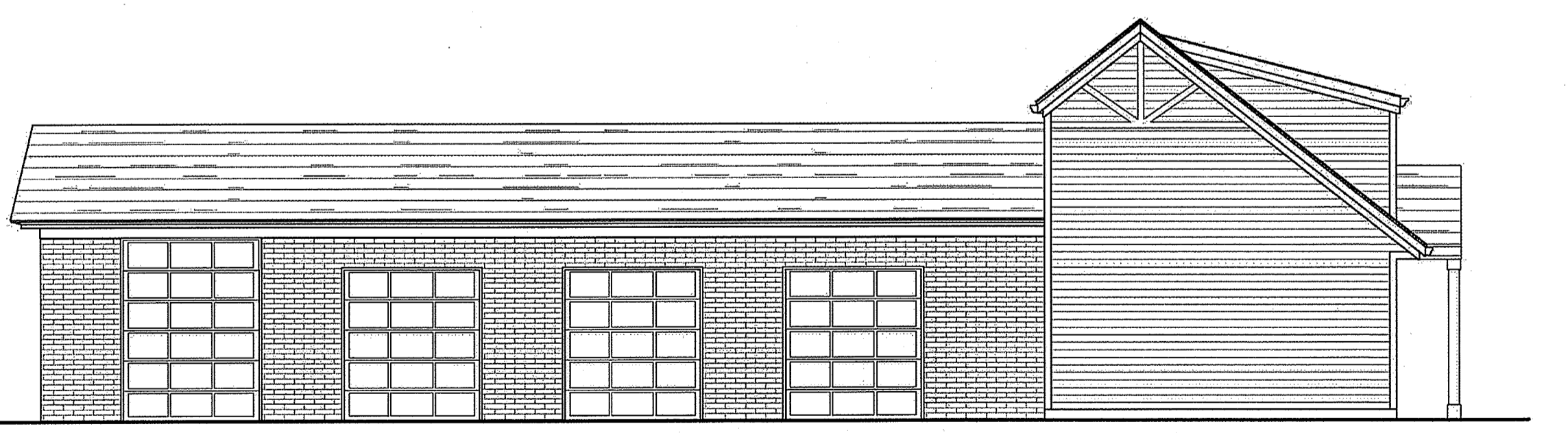
1 FRONT ELEVATION (RT 108)
 SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION (EAST)
 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION (NORTH)
 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION (WEST)
 SCALE: 1/8" = 1'-0"

No.	Date	Revisions

SCHEMATIC PLAN & ELEVATIONS
DOVER ROAD CAR CARE
 ROUTE 108 (DOVER ROAD)
 DURIHAM, NH

Scale: AS NOTED
 Date: 6/3/14
 Drawn By: JEG
 Checked By: UHO1
 Job Number: 214101
 Drawing:

A1